

Town and County of Nantucket Select Board • County Commissioners

Dawn E. Hill Holdgate, Chair
Thomas M. Dixon
Matt Fee
Malcolm W. MacNab
Brooke Mohr



16 Broad Street
Nantucket, Massachusetts 02554

Telephone (508) 228-7255
Facsimile (508) 228-7272
www.nantucket-ma.gov

C. Elizabeth Gibson
Town & County Manager

AGENDA FOR THE MEETING OF THE SELECT BOARD SEPTEMBER 20, 2023 - 5:30 PM PSF COMMUNITY ROOM, 4 FAIRGROUNDS ROAD AND REMOTE PARTICIPATION VIA ZOOM WEBINAR NANTUCKET, MASSACHUSETTS

YOU TUBE LINK FOR VIEWING ONLY:

<https://youtu.be/pNaYVwuwxx4>

ZOOM WEBINAR REGISTRATION LINK TO VIRTUALLY ATTEND MEETING:

https://us06web.zoom.us/webinar/register/WN_PophRJztTXeqPPxFOI8fcA

I. CALL TO ORDER

II. SELECT BOARD ACCEPTANCE OF AGENDA

III. ANNOUNCEMENTS

1. The Select Board Meeting is Being Audio/Video Recorded.
2. 2023 Committee Vacancies - Round 3: Council on Aging, Cultural Council, Real Estate Assessment Committee, Tree Advisory Committee.
3. The Finance Committee will Hold a Public Hearing on Thursday, September 21, 2023 at 4:00 PM in the PSF Community Room at 4 Fairgrounds Road and via Remote Participation via Zoom Webinar Regarding November 7, 2023 Special Town Meeting Warrant Articles: <https://www.nantucket-ma.gov/DocumentCenter/View/45768/November-7-2023-Special-Town-Meeting-Warrant-as-Adopted-by-the-Select-Board>.
4. Informational Sessions on November 7, 2023 Special Town Meeting Short-Term Rental Articles via Remote Participation via Zoom Webinar:
 - Thursday, October 5, 2023 at 4:30 PM (Register at https://us06web.zoom.us/webinar/register/WN_xTxL43foToSMcOdN5Zlgxw)
 - Thursday, October 12, 2023 at 5:30 PM (Register at https://us06web.zoom.us/webinar/register/WN_Vx_ygpoeQF2lwL587PxdVA)

5. Town of Nantucket, in Partnership with State of Massachusetts and Cataldo Ambulance Company, Offering Covid Vaccine Doses to all Interested Persons; Pfizer and Moderna Doses will both be Available at Each of Three Clinics Offered on: Saturday, September 23; Saturday, October 21; Saturday, November 18 from 9:00 AM to 2:00 PM at Nantucket Elementary School Cafeteria on Backus Lane.
To sign up: www.nantucket-ma.gov/covid

6. Select Board Announcements/Comments.

IV. FOLLOW-UP ON COMMENTS FROM PRIOR SELECT BOARD MEETINGS

V. PUBLIC COMMENT*

VI. NEW BUSINESS*

VII. APPROVAL OF MINUTES, WARRANTS AND PENDING CONTRACTS

1. Approval of Minutes of September 6, 2023 at 5:30 PM; September 7, 2023 at 9:00 AM; September 13, 2023 at 5:30 PM; September 14, 2023 at 4:00 PM.
2. Approval of Payroll Warrants for September 17, 2023.
3. Approval of Treasury Warrants for September 20, 2023.
4. Approval of Pending Contracts for September 20, 2023 - as Set Forth on the Spreadsheet Identified as Exhibit 1, Which Exhibit is Incorporated Herein by Reference.

VIII. CITIZEN/DEPARTMENTAL/COMMITTEE REQUESTS/REPORTS

1. Housing Office: Request to MassHousing Seeking Special Local Preference for Surfside Crossing 40B Project.
2. Housing Office: Request to Executive Office of Housing and Livable Communities (EOHLC) Seeking Special Local Preference for 31 Fairgrounds Road Housing Project.
3. Massachusetts State Senate Counsel Office: Request for Select Board Approval of Language Amendments to Home Rule Petition (Article 83) Approved at 2023 Annual Town Meeting.

IX. TOWN MANAGER'S REPORT

1. Somerset Needs Area Sewer Extension Project Overview.

X. SELECT BOARD'S REPORTS/COMMENT

1. Preliminary Discussion: Tax Rate Shift for FY 2024.
2. Committee Reports.

XI. ADJOURNMENT

****Identified on Agenda Protocol Sheet***

SELECT BOARD AGENDA PROTOCOL:

Roberts Rules: The Select Board follows Roberts Rules of Order to govern its meetings as per the Town Code Charter.

Public Comment: Public Comment is to bring matters of public interest to the attention of the Board. At the Board's discretion, matters raised under Public Comment may be directed to Town Administration or may be placed on a future agenda, allowing all viewpoints to be represented before the Board takes action, if any. Except in emergencies, the Board will not normally take any other action on Public Comment in its sole discretion.

To facilitate that any individual who wishes to provide Public Comment has the opportunity and to ensure the ability of the Board to conduct its business in an orderly fashion, the following rules and procedures are adopted consistent with the United States Constitution and the Massachusetts Declaration of Rights.

The agenda for regular Select Board meetings will include a Public Comment period at the beginning of the meeting unless there is more urgent business for the Board to take up first. This time is reserved for speakers to address the Board on matters that are not related to any other Agenda item. If a speaker wishes to address the Board on a matter that is related to another Agenda item, the Chair will accept public comment when that Agenda item is reached during the meeting.

All speakers are encouraged to present their remarks in an orderly and peaceable manner, without disruption to other speakers.

All remarks will be addressed through the Chair of the meeting.

The Chair of the meeting may not interrupt speakers who have been recognized to speak, except that the Chair reserves the right to terminate speech which is not protected under the United States Constitution and the Massachusetts Declaration of Rights because it constitutes true threats, incitement to imminent lawless conduct, or engages in conduct that disrupts other speakers.

Each speaker may not exceed three (3) minutes during any Public Comment portion of the meeting.

Disclaimer: Public Comment is not a time for debate or response to comments by the Board. Comments made during the Public Comment period do not reflect the views or positions of the Board. Because of free speech principles, the Board does not have authority to prevent all speech that may be upsetting and/or offensive made during the Public Comment period.

Unanticipated Business: Topics not reasonably anticipated by the Chair 48 hours in advance of the meeting may be brought up for discussion in accordance with the Open Meeting Law.

Public Participation: The Board welcomes valuable input from the public at appropriate times during the meeting with recognition from the Chair at his/her sole discretion. For appropriate agenda items, the Chair will introduce the item and take public input. Individual Board Members may have questions on

the clarity of the information presented. The Board will hear any staff input and then deliberate on a course of action.

Select Board Report and Comment: Individual Board Members may have matters to bring to the attention of the Board during a meeting. If the matter contemplates action by the Board, Board Members will consult with the Chair and/or Town Manager in advance and provide any needed information by the Thursday before the meeting and/or schedule the matter for a future Board meeting. Otherwise, except in emergencies, the Board will not normally take action on Select Board Comment.

Approved: April 26, 2023

Select Board
2023 Committee Vacancy Appointments Timeline
Round 3
As of 9/8/2023

September 8 – Advertise committee vacancies on Town’s website

September 14 and 21 – Advertise committee vacancies in the Inky

September 6, 13 and 20 – Committee vacancies to be added to Select Board agendas as announcement

September 27 at 12:00 PM – Deadline for submitting applications for the following committee vacancies:

- Council on Aging - one seat, term expires 2026
- Cultural Council – two seats, terms expire 2025
- Real Estate Assessment Committee – one seat, term expires 2026
- Tree Advisory Committee – one seat, term expires 2025

October 4 and October 11 – The names of applicants who have submitted applications will be read aloud and applications will be included in the Board’s packet.

October 18 – Meeting for applicants to introduce themselves and review their applications; committee appointments made.

NOTICE OF COMMITTEE VACANCIES

The Select Board is accepting applications for **Round 3** of committee vacancy appointments. Interested individuals may obtain a “Committee Interest Form” from the Town of Nantucket’s [website](#). Completed applications can be mailed to Town Administration, 16 Broad Street, Nantucket, MA 02554 or emailed to emooney@nantucket-ma.gov. Information on the responsibilities of the various committees may also be obtained from the Town’s website. **All appointments will be made by the Select Board at its October 18, 2023 meeting.**

Applications for **all** committee vacancies must be submitted by **12:00 PM** on **Wednesday, September 27, 2023.**

Council on Aging	1 Seat	Term Ends 2026
Cultural Council ^	2 Seats	Terms End 2025
Real Estate Assessment Committee	1 Seat	Term Ends 2026
Tree Advisory Committee	1 Seat	Term Ends 2025

^ Pursuant to the Massachusetts Cultural Council’s Local Cultural Council Program Guidelines, “The term of membership for a council member is three years; members can serve a maximum of two consecutive terms, or a total of six years, unless the appointing authority removes a member before the expiration of a term. Members must remain off the council for a one-year interval before serving additional terms.”

October 4 and October 11 – The names of applicants who have submitted applications will be read aloud and applications will be included in the Board’s packet.

October 18 – Meeting for the applicants who applied for committee vacancies to introduce themselves and review their applications; committee appointments made.

EXHIBIT 1
AGREEMENTS TO BE EXECUTED BY TOWN MANAGER
UNLESS RESOLUTION OF DISAPPROVAL BY SELECT BOARD
September 20, 2023

Type of Agreement/Description	Department	With	Amount	Other Information	Source of Funding	Term
Purchase Agreement	Fire Department	Specialty Vehicles, Inc.	\$369,694	Purchase of replacement ambulance	Ambulance Reserve Article 10 2022 ATM	Sept 20, 2023 - Sept 19, 3024
Professional Service Agreement	Housing Department	Barrett Planning Group, LLC	\$35,500	Development of deed restriction program for warrant articles to be created and ready for Select Board consideration by 12/15/2023	Housing Department General Fund Budget - Professional Services	July 1, 2023 - June 30, 2024
Contract Amendment	Natural Resources Department	University of Massachusetts - Boston	N/A	Complete analysis of 2009 Nantucket & Madaket Harbors Action Plan & develop recommendations to update the Plan; amendment to extend completion date	N/A	June 8, 2022 - Dec 31, 2024
Professional Service Agreement	Natural Resources Department	Geosyntec Consultants, Inc.	\$398,352	To conduct a nutrient loading groundwater mapping study of Nantucket Harbor Watershed including Quality Assurance Project Plan, groundwater sampling & mapping, surficial sediment sampling, & oxygen assessment	Town Administration - Capital Funding Article 10 2022 ATM - Groundwater Mapping	Sept 20, 2023 - Sept 19, 2024
Contract Amendment	Planning and Land Use Services	Public Archaeology Laboratory, Inc.	Add \$5,000 to original contract amount of \$40,000 for new contract amount of \$45,000	Supplemental historical properties survey of the "Fish Lots Neighborhood"	Planning and Land Use Services Budget - 2022 ATM - Professional Services	Sept 20, 2023 - Sept 30, 2024

Contract Amendment	Public Works Department	Weston & Sampson Engineers, Inc.	Add \$58,170 to original contract amount of \$168,400 for new contract amount of \$226,570	Professional Design Services & Site Alternative Analysis for new Public Works Facility; extend completion date by 1 year	Article 16 ATM 2019 - DPW Facility Design	April 29, 2020 - June 30, 2024
Professional Service Agreement	Solid Waste Department	Recolor Paints, LLC	\$9,785 (Not to Exceed)	Paint Collection Event FY24-FY26 - 3 events total: FY24 event is on October 21, 2023	Solid Waste Enterprise Fund - Professional Services	Sept 20, 2023 - August 31, 2026



Agenda Item Summary

Agenda Item #	VIII. 1.
Date	September 20, 2023

Staff

Tucker Holland, Municipal Housing Director

Subject

Approval for Housing Director to Send Request to MassHousing on Behalf of Town for Special Local Preference regarding Surfside Crossing

Executive Summary

As the Board is aware, Surfside Crossing is a private 40B development comprised of 156 condominium units. Under law, 39 of these are to be permanently restricted to households earning 80% AMI or less. This request for Special Local Preference will be beyond a traditional request for maximum Local Preference allowed for the affordable units (e.g., the 39 units restricted at 80% AMI or less), ensuring that at least 70% of these affordable units go to folks in the following categories:

1. Current residents: A household in which one or more members is living in the city or town at the time of application
2. Municipal Employees: Employees of the municipality, such as teachers, janitors, firefighters, police officers, librarians, or town hall employees.
3. Employees of Local Businesses: Employees of businesses located in the municipality.
4. Households with children attending the locality's schools.

This Special Local Preference will be further seeking that six (6) of the 39 units eligible for traditional Local Preference be made exclusively available for Category 2 only (Municipal Employees) both at initial fill up and on an ongoing basis. The developers have supported this special request.

Note: this is new ground. There is no guarantee MassHousing will approve of Local Preference beyond the traditional. Because of the extreme circumstances around year-round housing on Nantucket, we believe there is a case to make.

The remainder of the 80% AMI units at Surfside Crossing are anticipated to be filled by lottery per the 40B process. The developers are looking at a variety of ways and collaborations which would allow the project to achieve an overall 75% year-round resident goal.



Staff Recommendation

Recommend approval for a Special Local Preference request to be sent by the Housing Director on behalf of the Town with supporting documentation from Richmond Great Point Development, Habitat for Humanity and Housing Nantucket.

Background/Discussion

Please see detail above.

Impact: Environmental ☐ Fiscal ☐ Community ☒ Other ☐

Addressing the housing crisis; Select Board strategic goal around year-round and municipal employee housing.

Board/Commission Recommendation

N/A

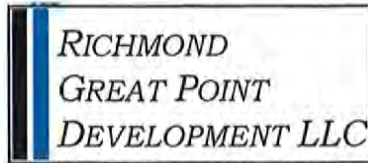
Public Outreach

N/A

Attachments

1. Richmond Great Point Development Support Letter
2. Habitat for Humanity Support Letter
3. Housing Nantucket Support Letter





*Richmond Great Point Development LLC
23 Concord Street
Wilmington, Massachusetts 01887
(979) 988-3900*

September 13, 2023

MASSHOUSING
1 Beacon Street
Boston, Massachusetts 02108

Attention: Jessica L. Malcolm, Manager – Planning and Programs

Subject: Provision of Relevant Documentation and Support for Town of Nantucket Request
for a "Municipal Employee Preference" for AMI Restricted For Sale Housing

Dear Jessica:

The purpose of this correspondence, issued in our capacity as one of the largest developers of AMI restricted for sale homes within the Town of Nantucket, all of which have been permitted, constructed, and occupied in the last ten years, is: (1) to provide a range of documentation related to buyer demand and context / perspective on certain unique aspects of the local AMI restricted housing market, and (2) to articulate our support for the Town of Nantucket's proposal and request to implement a "municipal employee preference" for certain AMI restricted for sale units that are under construction and / or contemplated in the future in the community.

Due to the breadth of experience that we at Richmond have accrued over the past ten years as we have been permitting, constructing, and managing our Sandpiper Place I and II Homeownership Development Project, we believe that we have the benefit of a range of unique and relevant first-hand data and information and an unmatched insight as relates to the magnitude and underlying dynamics of demand for AMI restricted housing in the community that could be helpful to you and your team in considering the Town's proposal and request.

As you know from prior review, our affirmative fair housing marketing outreach, and our efforts to collaborate with the Town of Nantucket, other local housing stakeholders, and other developers to facilitate the Town's achievement of and continuing eligibility for safe harbor, as well as the exponential recent increase in the investment in and production of AMI restricted for sale housing – all aimed at providing more homeownership opportunities to local, year-round residents, we and many of these parties, including and led by the Town officials who have been committed to attacking the local housing crisis on many different fronts, Nantucket faces certain challenges and has to try to deal with unique local demographic and logistical dynamics that other communities simply do not face, or have many other means by which these can be addressed.

First and foremost, being an island that is located almost 25 miles from the mainland, it is not viable for any meaningful number of municipal employees to commute daily to and from the Island (by ferry). As a result, if one works as a Town employee, a firefighter, a public safety officer, a teacher or educational administrator, a public health care provider, etc., one must live on the Island, and, as a result, must confront the increasingly difficult and expensive challenge of finding year-round housing.

In order to make meaningful progress in creating quality AMI restricted for sale homes in the face of these challenges, we, as a developer, and the Town of Nantucket, as an employer, as an adjudicator of project approvals, and as a financing source and housing stakeholder, have had to continue to envision, pursue, and implement creative and flexible approaches to actually produce such housing.

This approach has proven to be a major success, particularly in recent years; after multiple decades where virtually no meaningful inventory of additional AMI restricted for sale housing has been developed, close to one hundred (100) quality (new) AMI restricted homes have been permitted, constructed, and occupied, or are formally in the pipeline to be constructed and occupied in the near future – this is the good news.

The bad news is that due to the magnitude of demand and the cost and complexity of development, there are still exponentially (multiple hundreds) more qualified prospective buyers seeking such housing than there are homes – this equation is true and is particularly problematic for many existing and aspiring local municipal employees, who are unable to afford to purchase market rate homes and / or fail to be selected through one of the recent lotteries for AMI restricted homes, even under the auspices of and through the benefit of the customary (up to 70% “local preference”) provision that has been granted for all recent local for sale housing projects approved under the comprehensive permit or local initiative programs.

The probability of becoming an owner at the current time is still, unfortunately, far too daunting. By way of specific examples – in the last year (2023) we at Richmond (assisted by our consultants at SEB Housing) have undertaken affirmative fair housing marketing efforts and lotteries for an increment of the next seven (7) AMI restricted homes to be constructed and sold in our development (out of a total of 27 AMI restricted home), including homes at tiers of AMI restriction at 80% AMI and 175% AMI. These efforts and lotteries included a 70% local preference allowance, but no preference for municipal employees.

- A total of 71 income-qualified (non-duplicative) households submitted complete applications by the respective deadlines and qualified for the lottery for these 7 homes – so, in this case, there were 10.1 qualified tenants for every 1 AMI restricted home.
- This exponentially imbalanced ratio of qualified applicants to available AMI restricted homes was significant for both of the tiers of AMI restriction – but was even higher per home at the higher tier (175% AMI) (18 income qualified applicants for each home), because there was only one of these homes, and slightly lower per home at the 80% AMI tier (9 income qualified applicants for each home) because there were a greater number of these homes (a total of six homes).
- Applicants for these homes were (as expected) overwhelmingly locally-based. An increment of 66 of the 71 income-qualified (non-duplicative) applicants, equal to 93% of all applicants, listed Nantucket as their current domicile and claimed “local preference for the homes.
- Although it is not possible to precisely calculate, based on a familiarity with applicant names and a review of email addresses, and based on results from prior lotteries, an increment of +/- 10% to 15% of the qualified households from these lotteries (approximately 7 to 10 of these qualified households) included at least one existing or prospective municipal employee.

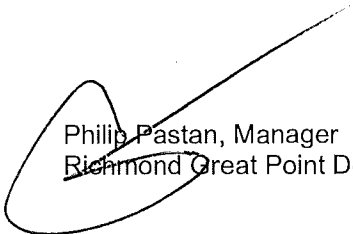
The magnitude and adverse impact of this (the excessive magnitude of demand to limited available home ratio) is not just anecdotal – it has resulted in a significant increase in difficulty to the Town of Nantucket in its efforts to recruit, hire, and retain otherwise qualified and willing municipal employees, across almost the entire spectrum of departments and positions. This manifests itself in recurring and (sometimes) dangerous shortages of such municipal employees, particularly in terms of teachers, public safety officers, and public health care providers.

Based on the foregoing real-time data and information, and our first-hand "on the ground" perspective, we believe that granting the Town of Nantucket's request for the creation of a small to moderate increment of "municipal preference" in the ranking and selection of income-qualified applicants in future projects with AMI restricted for sale homes is thoroughly warranted, would serve as a meaningful additional component within the Town's "toolkit" in its efforts to create greater flexibility and more effective solutions to attack the local housing crisis, and would still be within the spirit of MassHousing's policies with respect to inclusionary housing and affirmative fair housing marketing.

As such, we wholeheartedly support the Town's proposal and request for such "municipal preference" and urge your office to give approval of the same all due consideration.

We hope that this information and perspective is helpful in your efforts to assess the Town's proposal and request. Please feel free to contact me should you have any questions with respect to the data, information, and perspective that we have provided.

Very truly yours,



Philip Pastan, Manager
Richmond Great Point Development LLC

Cc: Kathryn Fossa, TRC
Dave Armanetti, TRC
Andrew Burek, Esq.
Select Board Members, TON
C. Elizabeth Gibson, TON
Tucker Holland, TON

Habitat Letterhead
DRAFT

Ms. Rieko Hayashi
Local Action Unit Program Coordinator
Executive Office of Housing and Livable Communities
100 Cambridge Street, Suite 300
Boston. MA 02114

Re: Municipal Employee Local Preference Request for 31 Fairgrounds and Surfside Crossing

Dear Rieko,

The Board of Directors of Habitat for Humanity Nantucket, Inc. supports the Town of Nantucket's request to create a sub-set of local preference units specifically for municipal employees within the 31 Fairgrounds and Surfside Crossing developments. The need for both affordable and workforce level housing is acute on Nantucket given the continued stratospheric values commanded by residential real estate here.

Habitat's Benjamin Drive development in 2021 generated 66 applications for three homeownership opportunities. We expect comparable volumes of applications on our next project. As you know, Habitat serves 80% AML and less households. The Town of Nantucket, as one of the larger employers on the Island, has struggled to recruit employees at all levels because of both cost and scarcity of residential options. A local preference sub-set for municipal employees would give the Town an important tool in attracting and retaining the talent needed to staff many Town positions.

Habitat hopes that the EOHLC will act favorably on this request.

For the Board of Habitat for Humanity Nantucket,

Beth Ann Meehan,
Director and Vice President



75 Old South Road • P.O. Box 3149 • Nantucket, MA 02554 • Tel: 508.228.4422

September 12, 2023

Mr. Tucker Holland, Municipal Housing Director
Town of Nantucket Housing and Real Estate Office
3 Chestnut Street
Nantucket, MA 02554

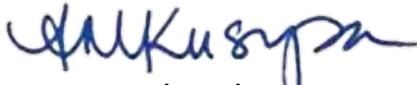
Re: Support for Local Preference

Dear Mr. Holland,

Housing Nantucket is a private, not-for-profit organization whose mission is to create equitable housing opportunities for Nantucket's year-round community. One of the primary ways we fulfill this mission is through our Affordable Rental Program, which consists of thirty-nine year-round rental homes on scattered sites. The island families who live in our homes rely on us for quality housing with stable, affordable rent and an on-island landlord for management and maintenance.

Demand for Housing Nantucket's rental units far exceeds the amount of supply. As of July 2023, Housing Nantucket's "Ready-to-Rent" waitlist contains 390 households pre-qualified as earning low to moderate income. This represents a 25% increase from last year at this time, as unit turnover occurs infrequently and more island households solicit help in securing housing. Of the current applicants, 129 households are in need of a studio or 1-bedroom unit, 154 are in need of a 2-bedroom unit, and 107 are in need of a 3-bedroom unit or larger. All of these applicants currently live and work on Nantucket; several of them are employed by the municipality in various capacities.

Housing Nantucket supports the Town of Nantucket's diligent efforts to obtain Local Preference on affordable housing projects in the pipeline. The shortage of price-appropriate rental housing for low- and moderate-income Nantucket households presents a serious burden for the entire community. Statistical and anecdotal evidence represents these trends are only growing. Housing Nantucket's focus remains on creating more affordable rental opportunities for Nantucket residents, and we continue to support your hard work to do the same.

Sincerely, 
Anne Kuszpa, Executive Director

Housing the Nantucket Community Since 1994

housingnantucket.org

[Affordable Rentals](#) [House Recycling](#) [Advocacy](#) [Covenant Homes](#) [Education](#) [Resources](#)



Agenda Item Summary

Agenda Item #	VIII. 2.
Date	September 20, 2023

Staff

Tucker Holland, Municipal Housing Director

Subject

Approval for Housing Director to Send of Letter of Support to EOHLC on Behalf of Town for Special Local Preference regarding 31 Fairgrounds Road

Executive Summary

As the Board is aware, 31 Fairgrounds is a collaborative development between the Town, Affordable Housing Trust, Housing Nantucket and Billy Cassidy with the Nantucket Land Bank holding a conservation restriction (per the Flex Development approach) to develop 22 SHI-eligible rental housing units to serve exclusively year-rounders. This Letter of Support for Special Local Preference will be beyond the original request in the LAU application for maximum Local Preference allowed for the affordable units (e.g., the six units restricted at 80% AMI or less), ensuring that at least 70% of these affordable units go to folks in the following categories:

1. Current residents: A household in which one or more members is living in the city or town at the time of application
2. Municipal Employees: Employees of the municipality, such as teachers, janitors, firefighters, police officers, librarians, or town hall employees.
3. Employees of Local Businesses: Employees of businesses located in the municipality.
4. Households with children attending the locality's schools.

This Special Local Preference will be further seeking that 2 of the 4 units eligible for traditional Local Preference ($70\% \times 6 = 4$) be made exclusively available for Category 2 only (Municipal Employees) both at initial fill up and on an ongoing basis. Further, we are asking EOHLC to endorse that for the units above 80% AMI, up to 6 of those also be reserved for Municipal Employees only at fill up and on an ongoing basis. Housing Nantucket supports this request. It is a condition in the last round of grant funding for the project approved in July.

Note: this is new ground. There is no guarantee EOHLC will approve of Local Preferences beyond the traditional. In prior conversation with EOHLC, they have understood why we are seeking this request and will consider.



The remainder of the units at 31 Farigrounds are anticipated to be filled by lottery for the 80% AMI units and from Housing Nantucket's Ready to Rent list of folks at the appropriate qualifying income levels (e.g., 110% and 150% AMI), according to the AFHMP. Units at 31 Fairgrounds have an upper income limit of 200% AMI.

Staff Recommendation

Recommend approval of the Special Local Preference request to be sent by the Housing Director on behalf of the Town with supporting documentation from Housing Nantucket, Habitat for Humanity and Richmond Great Point Development.

Background/Discussion

Please see detail above.

Impact: Environmental ☐ Fiscal ☐ Community ☒ Other ☐

Addressing the housing crisis; Select Board strategic goal around year-round and municipal employee housing.

Board/Commission Recommendation

N/A

Public Outreach

N/A

Attachments

1. Housing Nantucket Support Letter
2. Habitat for Humanity Support Letter
3. Richmond Great Point Development Support Letter





75 Old South Road • P.O. Box 3149 • Nantucket, MA 02554 • Tel: 508.228.4422

March 12, 2021

Mr. Andrew Vorce, Director of Planning
Town of Nantucket Planning & Land Use Services
2 Fairgrounds Road
Nantucket, MA 02554

Re: Support for Local Preference

Dear Mr. Vorce,

Housing Nantucket is a private, not-for-profit organization whose mission is to create affordable housing opportunities for Nantucket residents. One of the primary ways we fulfill this mission is through our Affordable Rental Program, which consists of 38 year-round rental homes on scattered sites. The island families who live in our homes rely on quality housing with stable, affordable rent, and an on-island landlord for management and maintenance.

Our inventory of affordable housing units currently includes nine one-bedroom units, 19 two-bedroom units, nine three-bedroom units, and one four-bedroom unit. We serve a range of incomes within this program and accept applications to our Ready-to-Rent list on a rolling basis. When there is a vacancy, we consider the household incomes of the rest of our rentals, refer to our organization's housing policy, and determine which income bracket needs to be filled.

Before they are included on our Ready-to-Rent list, applicants are preliminarily qualified as earning between 50-100% of the Area Median Income for their household size. At this time, there are 85 households waiting for a one-bedroom, 97 households waiting for a two-bedroom and 57 households waiting for a three-bedroom. All applicants report that they currently live and work on Nantucket.

Housing Nantucket supports the Town of Nantucket's efforts to obtain Local Preference on affordable housing projects in the pipeline. The shortage of price-appropriate rental housing for low and moderate income Nantucket households presents a serious burden for many year-round island residents.

Statistical and anecdotal evidence represents these trends are only growing. Housing Nantucket's focus remains on creating more community housing opportunities for Nantucket residents, and we will continue to support your work to do the same.

Please contact me with any questions.

Sincerely,

Anne Kuszpa
Executive Director

Housing the Nantucket Community Since 1994

housingnantucket.org

Affordable Rentals House Recycling Advocacy Covenant Homes Education Resources

Habitat Letterhead
DRAFT

Ms. Rieko Hayashi
Local Action Unit Program Coordinator
Executive Office of Housing and Livable Communities
100 Cambridge Street, Suite 300
Boston. MA 02114

Re: Municipal Employee Local Preference Request for 31 Fairgrounds and Surfside Crossing

Dear Rieko,

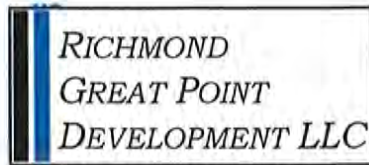
The Board of Directors of Habitat for Humanity Nantucket, Inc. supports the Town of Nantucket's request to create a sub-set of local preference units specifically for municipal employees within the 31 Fairgrounds and Surfside Crossing developments. The need for both affordable and workforce level housing is acute on Nantucket given the continued stratospheric values commanded by residential real estate here.

Habitat's Benjamin Drive development in 2021 generated 66 applications for three homeownership opportunities. We expect comparable volumes of applications on our next project. As you know, Habitat serves 80% AMI and less households. The Town of Nantucket, as one of the larger employers on the Island, has struggled to recruit employees at all levels because of both cost and scarcity of residential options. A local preference sub-set for municipal employees would give the Town an important tool in attracting and retaining the talent needed to staff many Town positions.

Habitat hopes that the EOHLC will act favorably on this request.

For the Board of Habitat for Humanity Nantucket,

Beth Ann Meehan,
Director and Vice President



*Richmond Great Point Development LLC
23 Concord Street
Wilmington, Massachusetts 01887
(979) 988-3900*

September 13, 2023

COMMONWEALTH OF MASSACHUSETTS
EXECUTIVE OFFICE OF HOUSING AND
LIVEABLE COMMUNITIES (EOHLC)
100 Cambridge Street, Suite # 300
Boston, Massachusetts 02114

Attention: Rieko Hayashi, Local Initiative Program Director
Alyxandra Sabatino, Housing Specialist
Margaux LeClair, Esq., Counsel / Fair Housing Specialist

Subject: Provision of Relevant Documentation and Support for Town of Nantucket Request
for a "Municipal Employee Preference" for AMI Restricted Rental Housing

Dear Rieko, Aly, and Margaux:

The purpose of this correspondence, issued in our capacity as the developer and manager of the largest number of mixed-income rental apartment units within the Town of Nantucket, all of which have been permitted, constructed, and occupied in the last ten years, is: (1) to provide a range of documentation related to tenant demand and context / perspective on certain unique aspects of the local rental housing market, and (2) to articulate our support for the Town of Nantucket's proposal and request to implement a "municipal employee preference" for certain AMI restricted rental units that are under construction and / or contemplated in the future in the community.

Due to the breadth of experience that we at Richmond have accrued over the past ten years as we have been permitting, constructing, and managing our Meadows I and Meadows II (Phases I through VI) Apartments Development Project, we believe that we have the benefit of a range of unique and relevant first-hand data and information and an unmatched insight as relates to the magnitude and underlying dynamics of demand for rental housing in the community that could be helpful to you and your team in considering the Town's proposal and request.

As all of you know in your respective capacities in the agency's role over the years in overseeing certain aspects of our project approvals, our affirmative fair housing marketing outreach, and our efforts to collaborate with the Town of Nantucket, other local housing stakeholders, and other developers to facilitate the Town's achievement of and continuing eligibility for safe harbor, as well as the exponential recent increase in the investment in and production of mixed-income rental housing – all aimed at putting "heads in a lot more beds" we and many of these parties, including and led by the Town officials who have been committed to attacking the local housing crisis on many different fronts, Nantucket faces certain challenges and has to try to deal with unique local demographic and logistical dynamics that other communities simply do not face, or have many other means by which these can be addressed.

First and foremost, being an island that is located almost 25 miles from the mainland, it is not viable for any meaningful number of municipal employees to commute daily to and from the Island (by ferry). As a result, if one works as a Town employee, a firefighter, a public safety officer, a teacher or educational administrator, a public health care provider, etc., one must live on the Island, and, as a result, must confront the increasingly difficult and expensive challenge of finding year-round housing.

In order to make meaningful progress in creating quality mixed-income rental housing units in the face of these challenges, we, as a developer, and the Town of Nantucket, as an employer, as an adjudicator of project approvals, and as a financing source and housing stakeholder, have had to continue to envision, pursue, and implement creative and flexible approaches to actually produce such housing.

This approach has proven to be a major success, particularly in recent years; after multiple decades where virtually no meaningful inventory of additional mixed-income rental housing has been developed, close to five hundred (500) quality (new) year-round rental housing units have been permitted, constructed, and occupied, or are formally in the pipeline to be constructed and occupied in the near future – this is the good news.

The bad news is that due to the magnitude of demand and the cost and complexity of development, there are still exponentially (multiple hundreds) more qualified prospective tenants seeking such housing than there are units – this equation is true and is particularly problematic for many existing and aspiring local municipal employees, who are unable to afford to rent market rate units and / or fail to be selected through one of the recent lotteries for AMI restricted rental units, even under the auspices of and through the benefit of the customary (up to 70% “local preference”) provision that has been granted for all recent local rental projects approved under the comprehensive permit or local initiative programs.

The numbers and probability of becoming a rental tenant at the current time are still, unfortunately, far too daunting – waiting lists and applicants for market rate rental units, even if one is able to afford the rent, outnumber the number of available and prospective units by the hundreds, and the turnover of existing tenants is deminimus, compared to turnover rates occurring on the mainland.

In terms of AMI restricted units, the numbers and probability are even more daunting. By way of specific examples – in the last two years (2022 and 2023) we at Richmond (assisted by our consultants at SEB Housing) have undertaken affirmative fair housing marketing efforts and lotteries for an increment of thirty-six (36) AMI restricted units, including units at tiers of AMI restriction including 50%, 70%, 80%, 100%, 110%, and 120%. These efforts and lotteries included a 70% local preference allowance, but no preference for municipal employees.

- A total of 321 income-qualified (non-duplicative) households submitted complete applications by the respective deadlines and qualified for the lottery for these 36 units – so, in these cases, there were 8.9 qualified tenants for every 1 AMI restricted unit.
- This exponentially imbalanced ratio of qualified applicants to available AMI restricted rental units was fairly uniform across all of the tiers of AMI restriction – only slightly higher per unit at the lower tiers (50% and 70%, because there were fewer of these units, and slightly lower per unit at the 80% tier, because there were a greater number of these unit.
- Applicants for these units were (as expected) overwhelmingly locally-based. An increment of 282 of the 321 income-qualified (non-duplicative), equal to 88% of all applicants, listed Nantucket as their current domicile and claimed “local preference for the 36 units.
- Although it is not possible to precisely calculate, based on a familiarity with applicant names and a review of email addresses, and based on results from prior lotteries, an increment of +/- 6% to 8% of the qualified households from these lotteries (approximately 20-25 of these qualified households) included at least one existing or prospective municipal employee.

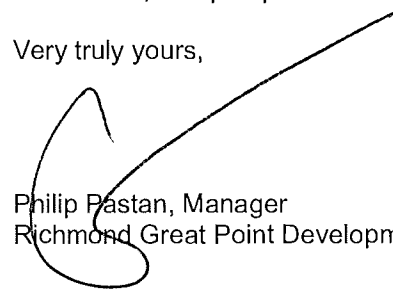
The magnitude and adverse impact of this (excessive magnitude of demand to limited unit ratio) is not just anecdotal – it has resulted in a significant increase in difficulty to the Town of Nantucket in its efforts to recruit, hire, and retain otherwise qualified and willing municipal employees, across almost the entire spectrum of departments and positions. This manifests itself in recurring and (sometimes) dangerous shortages of such municipal employees, particularly in terms of teachers, public safety officers, and public health care providers.

Based on the foregoing real-time data and information, and our first-hand "on the ground" perspective, we believe that granting the Town of Nantucket's request for the creation of a small to moderate increment of "municipal preference" in the ranking and selection of income-qualified applicants in future projects with AMI restricted rental units is thoroughly warranted, would serve as a meaningful additional component within the Town's "toolkit" in its efforts to create greater flexibility and more effective solutions to attack the local housing crisis, and would still be within the spirit of the Commonwealth's policies with respect to inclusionary housing and affirmative fair housing marketing.

As such, we wholeheartedly support the Town's proposal and request for such "municipal preference" and urge your office to give approval of the same all due consideration.

We hope that this information and perspective is helpful in your efforts to assess the Town's proposal and request. Please feel free to contact me should you have any questions with respect to the data, information, and perspective that we have provided.

Very truly yours,



Philip Pastan, Manager
Richmond Great Point Development LLC

Cc: Kathryn Fossa, TRC
Dave Armanetti, TRC
Andrew Burek, Esq.
Select Board Members, TON
C. Elizabeth Gibson, TON
Tucker Holland, TON

From: [Libby Gibson](#)
To: [Erika Mooney](#)
Subject: FW: Nantucket ATM Home Rule Petitions
Date: Thursday, September 14, 2023 3:24:34 PM
Attachments: [2023.08.31 - 3. ART. 83 - \(HRP\) ATM23 - SEN counsel edits_clean.docx](#)
[2023.08.31 - 3. ART. 83 - \(HRP\) ATM23 - SEN counsel edits_redline.docx](#)

Can go in packet

C. Elizabeth Gibson, ICMA-CM
Town Manager
Town of Nantucket
(508) 228-7255

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From: John Giorgio <JGiorgio@k-plaw.com>
Sent: Thursday, September 14, 2023 1:57 PM
To: Libby Gibson <LGibson@nantucket-ma.gov>
Subject: FW: Nantucket ATM Home Rule Petitions

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Libby;

I have reviewed the changes made by Senator Cyr's Legislative Counsel. The changes are not substantive in nature, but rather are being suggested in order to conform to the legislative form. According to the Town Meeting vote, the select Board will have to approve the changes before the General Court will consider the bill.

Please let me know if you have any questions.

John

John W. Giorgio, Esq.
KP | LAW
101 Arch Street, 12th Floor
Boston, MA 02110
O: (617) 556 0007
D: (617) 654 1705
F: (617) 654 1735
C: (617) 785 0725
jgiorgio@k-plaw.com
www.k-plaw.com

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From: Libby Gibson <LGibson@nantucket-ma.gov>

Sent: Friday, September 1, 2023 1:47 PM

To: John Giorgio <JGiorgio@k-plaw.com>

Subject: FW: Nantucket ATM Home Rule Petitions

This looks extensive! Thoughts?

C. Elizabeth Gibson, ICMA-CM
Town Manager
Town of Nantucket
(508) 228-7255

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From: Nancy Holmes <NHolmes@nantucket-ma.gov>

Sent: Friday, September 1, 2023 1:34 PM

To: Libby Gibson <LGibson@nantucket-ma.gov>; Erika Mooney <EMooney@nantucket-ma.gov>; John Giorgio <jgiorgio@k-plaw.com>

Subject: FW: Nantucket ATM Home Rule Petitions

FYI

From: Nally, Alexander (SEN) <Alexander.Nally@masenate.gov>

Sent: Friday, September 1, 2023 1:15 PM

To: Nancy Holmes <NHolmes@nantucket-ma.gov>

Cc: Fernandes, Dylan - Rep. (HOU) <Dylan.Fernandes@mahouse.gov>; Mofsen, Charity (HOU) <charitygrace.mofsen@mahouse.gov>; Town Manager <townmanager@nantucket-ma.gov>; Cyr, Julian (SEN) <Julian.Cyr@masenate.gov>

Subject: Re: Nantucket ATM Home Rule Petitions

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Dear Nancy,

I write with an update regarding Article 83. Upon review with Senate counsel, the following changes to the text of Article 83 as adopted by majority vote on May 6, 2023 at the Nantucket annual town meeting were recommended in order to accomplish the intent and public purpose of the legislation.

Due to the necessary changes, we will need the attached language to be approved by the Select Board before we can proceed with filing the legislation. I have attached both tracked changes and clean copy versions for your review. Once the Select Board approves the language, we will need a raised seal certified copy of the decision, and then we will be able to file it.

Please let me know if you have any questions.

Sincerely,
Alex

Alexander A. Nally
Legislative Director and Deputy General Counsel
Office of State Senator Julian Cyr
Cape and Islands District
State House, Room 111
Boston, MA 02133
Pronouns: he/him/his
www.SenatorCyr.com | [Newsletter](#)

From: Nancy Holmes <NHolmes@nantucket-ma.gov>
Date: Wednesday, August 9, 2023 at 10:39
To: Nally, Alexander (SEN) <Alexander.Nally@masenate.gov>
Cc: Fernandes, Dylan - Rep. (HOU) <Dylan.Fernandes@mahouse.gov>, Cyr, Julian (SEN) <Julian.Cyr@masenate.gov>, Mofsen, Charity (HOU) <charitygrace.mofsen@mahouse.gov>, Town Manager <townmanager@nantucket-ma.gov>
Subject: RE: Nantucket ATM Home Rule Petitions

Hello again Alex,

Attached are the nine (9) HRP's from Nantucket's 2023 ATM, in Word format. I'm sorry I did not send these to you last week!

Thank you for all you do for Nantucket.

Nancy L. Holmes, CMC
Town & County Clerk

Town of Nantucket
16 Broad Street
Nantucket, MA 02554
(508) 228-7216/7217



ONLINE VOTER REGISTRATION – REGISTER, CHECK or UPDATE VOTER STATUS:

<https://www.sec.state.ma.us/ovr/>

Vital Records ONLINE REQUEST & PAYMENT

<https://unipaygold.unibank.com/customerinfo.aspx>

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From: Nally, Alexander (SEN) <Alexander.Nally@masenate.gov>
Sent: Thursday, August 3, 2023 3:29 PM
To: Nancy Holmes <NHolmes@nantucket-ma.gov>
Cc: Fernandes, Dylan - Rep. (HOU) <Dylan.Fernandes@mahouse.gov>; Cyr, Julian (SEN) <Julian.Cyr@masenate.gov>; Mofsen, Charity (HOU) <charitygrace.mofsen@mahouse.gov>; Town Manager <townmanager@nantucket-ma.gov>
Subject: RE: Nantucket ATM Home Rule Petitions

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Hello Nancy,

Thanks for speaking with me earlier. If you could share the word doc versions of these filings with Charity and I, that would be great – it will help ensure there are no errors in translation as we prepare the legislative filings.

Best,
Alex

Alexander A. Nally
Legislative Director and Deputy General Counsel

Office of State Senator Julian Cyr
Cape and Islands District
State House, Room 111
Boston, MA 02133
Pronouns: He, Him, His
www.SenatorCyr.com | [Newsletter](#)

From: Town Manager <townmanager@nantucket-ma.gov>

Sent: Monday, July 24, 2023 12:34 PM

To: Fernandes, Dylan - Rep. (HOU) <Dylan.Fernandes@mahouse.gov>; Cyr, Julian (SEN) <Julian.Cyr@masenate.gov>; Mofsen, Charity (HOU) <charitygrace.mofsen@mahouse.gov>

Cc: Town Manager <townmanager@nantucket-ma.gov>

Subject: Nantucket ATM Home Rule Petitions

Good Afternoon,

Please see attached letter, and accompanying certified articles. Hard copies will be mailed to each of you today.

Best,
Katie

*Town Administration Staff
On behalf of Town Manager
Town of Nantucket
16 Broad Street
Nantucket, MA 02554
508-228-7255*

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An Act changing the name and membership of the Nantucket Planning and Economic Development Commission

SECTION 1. Section 1 of chapter 561 of the acts of 1973, as most recently amended by section 1 of chapter 347 of the acts of 2018, is hereby further amended by striking out section 1 and inserting in place thereof the following section:-

Section 1. (a) In order to plan for the orderly and coordinated development and protection of the physical, environmental, social and economic resources of the islands of Nantucket, including the protection of ground, surface and surrounding waters, natural resources, open space and coastal resources, the provision of adequate facilities, including transportation and fair and affordable housing, and the preservation of historic resources, there is hereby established the Nantucket Regional Planning Commission.

(b) The commission shall consist of: 5 members, elected for rotating 3-year terms at the annual town election; and 6 members appointed annually to 1-year terms, 1 of whom is a representative of and appointed by the planning board of the town of Nantucket, 1 of whom is a representative of and appointed by the Nantucket Islands Land Bank Commission, 1 of whom is a representative of and appointed by the Nantucket Historical Commission, 1 of whom is a representative of and appointed by the Nantucket Housing Authority, 1 of whom is a representative of and appointed by the county commissioners of Nantucket county and 1 of whom is a representative of and appointed by the conservation commission of the town of Nantucket.

Any vacancy in the elected members shall be filled by a majority vote of the commission until the next regular town election, at which a new member shall be elected to serve the remainder of the vacated term, if any.

In no case shall any of the elected members or appointed members serve on the commission for more than 9 years in total; provided, however, that this section shall not prevent members from serving on other elected or appointed public bodies at any time.

SECTION 2. Section 2 of said chapter 561, as so amended, is hereby further amended by adding the following paragraph:-

The commission shall produce and make available for the annual town meeting a written report of its activities, annually.

SECTION 3. (a) At the first annual town election held after the effective date of this act, the voters of the town shall elect 1 member of the Nantucket Regional Planning Commission for a term of 1 year and 1 member for a term of 2 years; provided, however, that if 3 seats are to be filled at said election, the voters shall also elect 1 member for a term of 3 years. All subsequently elected members shall be elected to rotating 3-year terms pursuant to subsection (b) of section 1 of chapter 561 of the acts of 1973, as inserted by section 1.

(b) Following the first annual town election held after the effective date of this act, the terms of members previously appointed to the commission by their respective boards and commissions shall terminate and appointments shall be made pursuant to subsection (b) of section 1 of chapter 561 of the acts of 1973, as inserted by section 1.

(c) Following the effective date of this act, members previously appointed at-large by the commission shall continue to serve in such capacity until the date their successor is qualified at the regular annual town election held in the calendar year in which their appointed term ends. At such election, the previously appointed at-large member of the commission shall be replaced with an elected member pursuant to subsection (b) of section 1 of chapter 561 of the acts of 1973. At no time shall the sum of elected members and previously appointed at-large members on the commission exceed 5 in total. In all such cases, previously appointed at-large members shall serve until successor elected members are elected and qualified.

SECTION 4. Years served prior to the effective date of this act shall not count towards the term limit established under the third paragraph of subsection (b) of section 1 of chapter 561 of the acts of 1973, as inserted by section 1.

SECTION 5. This act shall take effect upon its passage.

An Act ~~to amend~~changing the name and membership of the Nantucket Planning and Economic Development Commission

SECTION 1. ~~Section 1 of Chapter chapter~~ 561 of the ~~Acts acts~~ of 1973, as most recently amended by section 1 of chapter 347 of the acts of 2018, is hereby further amended by striking out making the following changes to the first sentence of section 1, and inserting in place thereof the following section:-

Section 1. (a) In order to plan for the orderly and coordinated development and protection of the physical, environmental, social and economic resources of the ~~I~~islands of Nantucket, including the protection of ground, surface, and surrounding waters, natural resources, open space, and coastal resources, the provision of adequate facilities, including transportation and fair and affordable housing, and the preservation of historic resources, there is hereby established the Nantucket Regional Planning Commission, ~~hereinafter called the "Commission for the purposes of this chapter."~~

(b) The Said Commission ~~The commission~~ shall consist of ~~eleven persons in total: five~~ 5 ~~memberspersons, to be elected for rotating three~~ 3-year terms at the annual town election, ~~hereinafter called the Elected elected Membersmembers for the purposes of this chapter; and 6 members appointed annually to 1-year terms, and six persons, one~~ (1) 1 of whom is a ~~-representative of and appointed by the Pplanning Bboard of the Ttown of Nantucket, to be appointed annually by said Boardboard; , one~~ 1 of whom is a (1) representative of and appointed by the Nantucket Islands Land Bank Commission, ~~to be appointed annually by said Commissioncommission; one~~ 1 (1) member of whom is a representative of and appointed by the Nantucket Historical Commission, ~~to be appointed annually by said Commissioncommission; one~~ 1 of whom is a (1) representative of and appointed by the Nantucket Housing Authority, ~~to be appointed annually by said Authorityauthority; one~~ 1 of whom is a (1) representative of and appointed by the ~~C~~ounty ~~C~~ommissioners of Nantucket ~~C~~ounty ~~to be appointed annually by said County Ccommissioners; , and one~~ 1 of whom is a (1) representative of and appointed by the ~~C~~onservation ~~C~~ommission ~~to be appointed annually by said Conservation Ccommissionof the town of Nantucket, together collectively hereinafter called the Appointed appointed Membersmembers for the purposes of this chapter.~~

SECTION 2. ~~Section 3. To provide for the initial election of the Elected Members and appointment of the Appointed Members, Said chapter 561 of the acts of 1973, as amended, is hereby further amended by inserting after section 1, the following is new sections:-~~

Section 1A.: (a) At the first annual Town town election held after the effective date of this Actsection, a minimum of two ~~Elected elected Members members~~ shall be elected. The initial term for ~~Elected elected Members members~~ shall be staggered [such that the first ~~Elected elected Member member~~ for shall serve a one-year term, a the second ~~elected member~~ shall serve for a two two-year term, etc], and thereafter. Thereafter, all ~~subsequently Elected elected Members members~~ shall be elected to rotating three-year terms.

(b) Further, after ~~Following the first annual Town town election held after the effective date of this Actsection, the terms of members previously appointed to the commission by their respective Boards boards and Commissions commissions shall end and six new 1-year appointments shall be made pursuant to section 1. (b) of this chapter, provided any of the six named entities may re-appoint a person that was~~

previously serving on the commission as an appointee of said entity prior to the first annual town election held after the effective date of this section.

(c) the following appointments shall be made by their respective Boards and Commissions: one (1) representative of the Planning Board, one (1) representative of the Housing Authority, one (1) County Commissioner, one (1) representative of the Historical Commission, one (1) representative of the Conservation Commission, and one (1) representative of the Nantucket Land Bank Commission, each for a one year term. Further, after~~Following~~the effective date of this Actsection, members previously appointed at-large by the eCommission shall continue to serve in such capacity until the end of their appointed term, provided that their such term will shall end not continue beyondon the date of the regular annual Town town election held in the calendar year their appointed term ends. At this such time, the previously appointed at-large member of the commissionthey shall be replaced with an Elected-elected mMembers as provided abovepursuant to section 1(b) of this chapter. At no time shall the number sum of Elected-elected members plus and previously appointed Atat Large large members exceedbe more than five in total total. In all such cases, previously appointed at large the members shall serve until their successor-elected memberss are elected and qualified.

Section 4. Insert a new section 1B: . Any vacancy in the elected membership shall be filled by a majority vote of the Commissioncommission, said vacaney to be filled until the next regular town election, after-at which the-a newly elected member will-shall be elected to serve the remainder of the vacated term, if any.

Section 5. Insert a section 1C: . Term Limits. In no case shall any of the elected members or appointed members serve on the Commission-commission for more than nine-9 (9)-years in total; provided, however, that years served prior to the effective date of this Act section shall not count towards this said term limit, and provided further, that . Tthis provision-section shall not prevent members from serving on other elected or appointed public bodies at any time.

SECTION 23. Section 2 of said chapter 561 of the acts of 1973, as so amended, as amended, is hereby further amended by inserting after section 2 theadding the following paragraphnew section:-

Section 6. Insert after section 2 section 2A: . The Commission-commission shall produce and make available to-for the annual Town-town Meeting-meeting a written report of its activities, annually.

SECTION 3. (a) At the first annual town election held after the effective date of this act, the voters of the town shall elect 1 member of the Nantucket Regional Planning Commission for a term of 1 year and 1 member for a term of 2 years; provided, however, that if 3 seats are to be filled at said election, the voters shall also elect 1 member for a term of 3 years. All subsequently elected members shall be elected to rotating 3-year terms pursuant to subsection (b) of section 1 of chapter 561 of the acts of 1973, as inserted by section 1.

(b) Following the first annual town election held after the effective date of this act, the terms of members previously appointed to the commission by their respective boards and commissions shall terminate and appointments shall be made pursuant to subsection (b) of section 1 of chapter 561 of the acts of 1973, as inserted by section 1.

(c) Following the effective date of this act, members previously appointed at-large by the commission shall continue to serve in such capacity until the date their successor is qualified at the

regular annual town election held in the calendar year in which their appointed term ends. At such election, the previously appointed at-large member of the commission shall be replaced with an elected member pursuant to subsection (b) of section 1 of chapter 561 of the acts of 1973. At no time shall the sum of elected members and previously appointed at-large members on the commission exceed 5 in total. In all such cases, previously appointed at-large members shall serve until successor elected members are elected and qualified.

SECTION 4. Years served prior to the effective date of this act shall not count towards the term limit established under the third paragraph of subsection (b) of section 1 of chapter 561 of the acts of 1973, as inserted by section 1.

~~Section~~SECTION 754. This ~~A~~act shall ~~be take~~be take effective upon its passage.



Town of Nantucket Somerset Needs Area Conceptual Sewer Design and Budgeted Cost



Select Board Presentation
September 20, 2023



Town of Nantucket Somerset Needs Area

Agenda

- Project Background
- Conceptual Layout
- Project Details
- Budgeted Costs
- Next Steps/Schedule
- Questions & Discussion





Town of Nantucket Somerset Needs Area

Project Background - A Look Back:

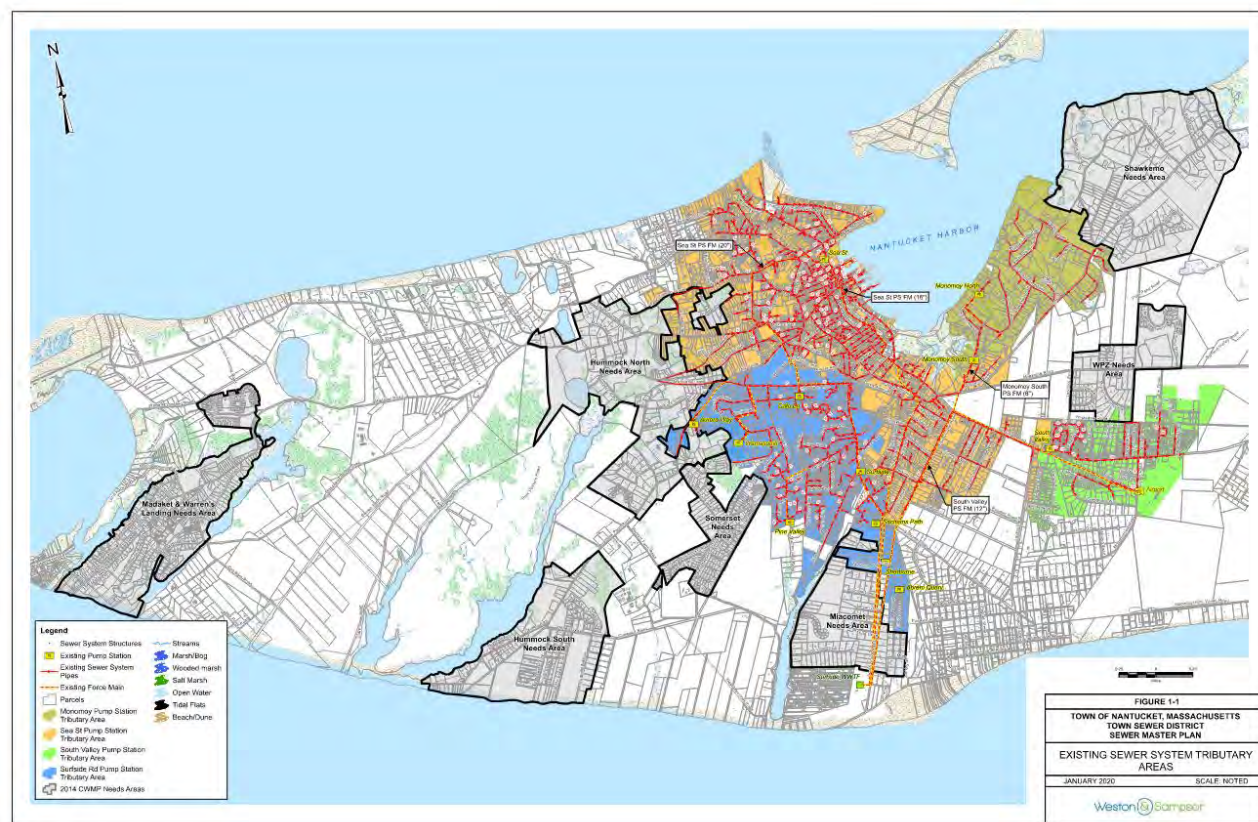
- Comprehensive Wastewater Management Planning (CWMP – 2004 & 2014)
- SMAST Report - 2019
- Sewer Master Plan – 2020





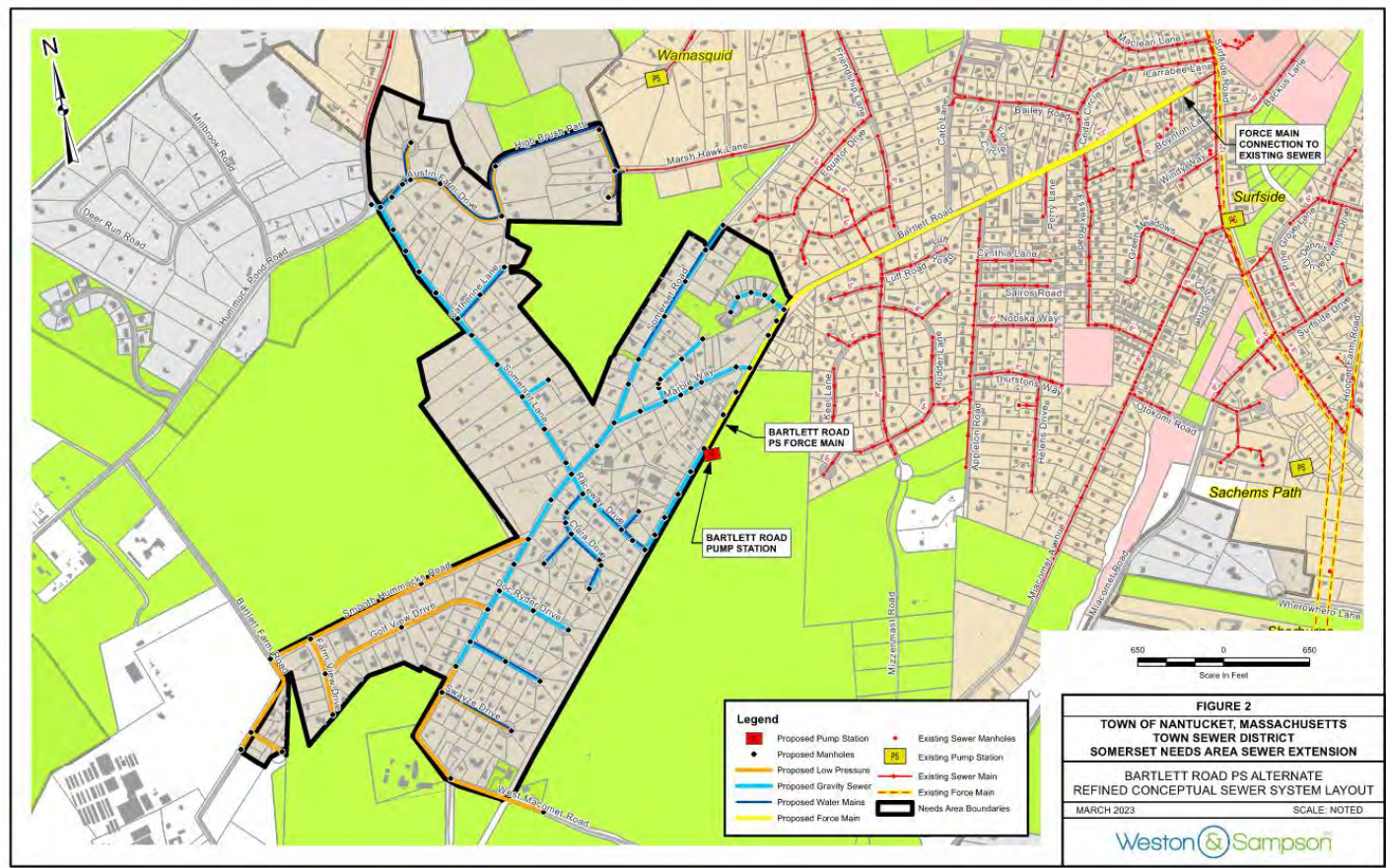
Town of Nantucket Somerset Needs Area

Project Background - A Look Back:





Town of Nantucket Somerset Needs Area Conceptual Sewer Extension Layout





Town of Nantucket Somerset Needs Area

Conceptual Layout - Project Details (Approx.)

- 25,500 l.f. of Low-Pressure and Gravity Sewers
 - Public & Private Roads
 - Paved & Unpaved Roads
- 388 Estimated Lots in Somerset (283 Existing + 105 Potential Future)
- 262 Estimated Lots in Hummock North
- 226 Estimated Lots in Hummock South



Town of Nantucket Somerset Needs Area

Conveyance System Details (Approx.)

- Proposed Pump Station on Bartlett Road
- Model after new Surfside Rd PS
- 4,800 l.f. of new 10-inch Force Main
 - Connect proposed force main to the existing 12-inch sewer main on Bartlett Road

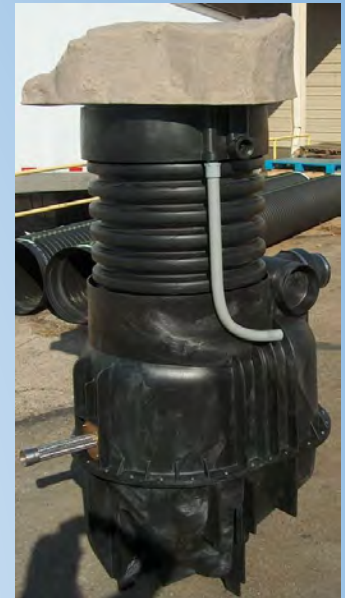




Town of Nantucket Somerset Needs Area

Budgeted Cost

- Construction Cost - \$26 M
- Construction Contingency (20%) - \$5.2 M
- Engineering/Land/Legal Costs – \$8.5 M
- Public Safety (Police Details) - \$0.7 M
- Grinder Pumps (Purchase Only) - \$0.7 M
- Total - \$41 M





Town of Nantucket Somerset Needs Area

Construction Cost Breakdown

- Total Estimated Construction Cost - \$26M
- Collection System (Low-Pressure and Gravity Sewers) - \$9.3M (36%)
- Conveyance System (PS and Force Main) - \$4.8M (19%)
- Water Main Extension - \$2.4M (9%)
- Surface Restoration (Primarily Paving) - \$9.5M (36%)





Town of Nantucket Somerset Needs Area

Next Steps/Schedule:

- Authorization of Design and Land Funds – May 2024
 - Design & Permitting
 - Land Acquisition/Easements
 - Refine Construction Cost
 - Funding Applications
 - Public Outreach
- Submit PEF for CY2025 CWSRF Loan – August 2024
- Authorization of Construction Funds – May 2025
- Start Construction – Fall 2026



Town of Nantucket Somerset Needs Area Questions & Discussion



Nantucket, MA
Somerset Needs Area Sewer Extension
Development of Budgeted Project Cost

Budgeted Cost Summary

The total updated budgeted cost of the proposed Somerset Sewer Extension Project is approximately \$41 Million broken down as follows:

• Construction Cost -	\$26 M
• Construction Contingency (20%) -	\$5.2 M
• Engineering/Land/Legal Cost -	\$8.5 M
• Public Safety (Police Details) -	\$0.7 M
• Grinder Pumps (Purchase Only) -	<u>\$0.7 M</u>
• TOTAL -	\$41 M

The budgeted construction cost of \$26 M is further broken down as follows:

• Collection System (Low-Pressure and Gravity Sewers) -	\$9.3 M
• Conveyance System (PS and Force Main) -	\$4.8 M
• Water Main Extension –	\$2.4 M
• Surface Restoration (Primarily Paving) -	<u>\$9.5 M</u>
• TOTAL -	\$26 M

The budgeted Engineering/Land/Legal Costs of \$8.5 M are further broken down as follows:

• Engineering Design -	\$2.6 M
• Engineering Services during construction -	\$3.1 M
• Land/Legal -	<u>\$2.8 M</u>
• TOTAL -	\$8.5 M

Proposed Schedule

The proposed project finance schedule is outlined below.

- May 2024 – Appropriation for engineering design (\$2.6 M) and land/legal costs (\$2.8 M) at ATM
- August 2024 – Submit PEF to MassDEP for inclusion on 2025 SRF IUP
- August 2024 – Inclusion of project cost in the Town’s Capital Budget
- January 2025 to March 2025 – SRF IUP for 2025 issued by MassDEP
- May 2025 – Appropriation for construction related costs (\$35.6 M) at ATM
- October 2025 – Submit final SRF application to MassDEP
- October 2025 – Submit plans and specifications to MassDEP
- February/March 2026 – Bid project
- May/June 2026 – Award construction contract
- Fall 2026 – Start construction
- Fall 2028 – Complete construction



westonandsampson.com

55 Walkers Brook Drive, Suite 100
Reading, MA 01867
tel: 978.532.1900

REPORT

September 2023

TOWN OF
Nantucket
MASSACHUSETTS

Somerset Sewer Extension
Verification of Conceptual Sewer Design
and Development of Budgeted Project Cost



TABLE OF CONTENTS	i
LIST OF FIGURES AND TABLES	ii
1.0 INTRODUCTION	1
2.0 CONCEPTUAL DESIGN REFINEMENT	1
2.1 Collection System	2
2.2 Conveyance to the Existing System (Pump Station and Force Main).....	4
2.3 Water Main Extensions.....	4
3.0 BUDGETED COSTS.....	5
4.0 FUNDING AND FINANCING SCHEDULE	8

LIST OF FIGURES AND TABLES

FIGURES

Figure 1.....Existing Sewer System and CWMP Needs Areas from Sewer Master Plan

Figure 2.....Refined Conceptual Sewer Layout with Bartlett Road Pump Station Alternate

TABLES

Table 1 Project Area Streets

Table 2 Updated Budgeted Costs

Table 3 Construction Production Rates and Estimated Construction Duration

1.0 INTRODUCTION

In April 2020, Weston & Sampson, on behalf of the Town of Nantucket, MA, completed the Sewer Master Plan for the Town Sewer District wastewater collection system, which is the collection system tributary to the Surfside Wastewater Treatment Facility (WWTF).

The purpose of the Sewer Master Plan was to help the Town determine where and how to connect and route future wastewater flows into the existing wastewater collection system. The sewer master planning effort built upon the work completed in the 2014 CWMP, which updated the original 2004 CWMP. In addition to the completed Shimmo & Plus Area Sewer Extension Project, the 2014 CWMP recommended the following Needs Areas be connected to the municipal sewer system:

- Hummock North
- Hummock South
- Madaket & Warren's Landing
- Miacomet
- Shawkemo
- Somerset

Subsequent to completion of the Sewer Master Plan, Weston & Sampson was contracted to perform additional engineering analysis for the proposed Madaket & Warren's Landing Needs Areas. In December 2021, Weston & Sampson completed the Verification of Conceptual Sewer Design and Development of Budgeted Project Cost for the Madaket and Warren's Landing Needs Areas. This report refined the conceptual sewer design from the Sewer Master Plan and developed updated budgeted project cost based on the refined system layout and recent cost data on similar projects.

Weston & Sampson has been contracted to perform additional engineering analysis for the proposed Somerset Sewer Extension Area (hereinafter the Project Area). The attached Figure 1-1 from the Sewer Master Plan Report defines the boundaries of the Project Area in relation to the existing wastewater collection system and the other CWMP Needs Areas. The basic scope for the current project includes verification/refinement of the conceptual sewer design and development of an updated budgeted project cost based on the refined system layout and recent cost data on similar projects.

2.0 CONCEPTUAL DESIGN REFINEMENT

The initial task involved review and refinement of the conceptual engineering design of the sewage collection network for the Project Area. The specific approach was to develop a refined system layout using the preliminary conceptual layout from the Sewer Master Plan as a starting point, working toward development of a detailed collection network sufficient to form the basis of a preliminary unit priced budgeted cost.

The preliminary sewer system layout and recommended routing for the Somerset Needs Area is shown on Figure 2. The proposed Somerset collection system is a combination of a gravity sewer system with a pump station and a low-pressure sewer system. The area will be connected to the Surfside Road Pump Station collection system via Bartlett Road. As shown on Figure 2, a pump station is proposed at the low point on Bartlett Road between Raceway Drive and Marble Way. The force main would discharge the wastewater flow to the gravity sewer near #4 Bartlett Road. This

gravity sewer was recently installed as part of the Surfside Road Area Sewer System Improvements Project. Acquisition of land would be required for the new pump station site on Bartlett Road. Options include the purchase of property, an easement from the Land Bank or a potential land swap with the Land Bank. In addition to handling the wastewater flow from the Somerset Needs Area, the collection system and the new pump station on Bartlett Road would be sized to handle the wastewater flow from both Hummock North and Hummock South Needs Areas.

An alternate pump station location for the Somerset Needs Area was also investigated. Under this option, the proposed pump station would be moved from Bartlett Road to the end of Mizzenmast Road, with a cross country gravity sewer from Bartlett Road to Mizzenmast Road and a new force main on Mizzenmast Road to the gravity sewer on Bartlett Road. This option would require a sewer easement across two properties owned by the Land Bank, one of which is the Miacomet Golf Club. This option would also require a potential land swap with the Land Bank for the new pump station site on Mizzenmast Road. As part of the investigation, it was determined that the alternate pump station site is not an option, as the Land Bank parcel on Mizzenmast Road has a Conservation Restriction which prohibits the construction of a building and conduits within the property.

In refining the conceptual design, we separated our analysis into three basic categories: 1) collection system (low-pressure sewers, gravity sewers and appurtenances); 2) conveyance to the existing system (pump station, force main and appurtenances); and 3) water main extensions in roadways being disturbed by the proposed sewer construction.

2.1 Collection System

The general layout provided in the Sewer Master Plan builds upon the 2004 and 2014 CWMP documents and depicts a low-pressure and gravity collection system within the Project Area discharging to a proposed pump station. For the development of the budgeted project costs, the layout of the collection system and pump station in Figure 2 has been used. With a goal of defining a more specific sewer layout to best provide service to the Somerset areas while considering resiliency, we moved forward with refinement of the conceptual layout.

A summary of the steps taken, and data compiled, including critical criteria and/or assumptions used in developing the layout, is as follows:

- A base map of the project area was created using the available GIS mapping. Actual on the ground survey to improve profile accuracies, identify underground utility locations, and to compile house sill elevations will be required during final design and may result in further refinement of the design.
- As part of the Sewer Master Plan, the Town's GIS and Assessor's data was used to determine which properties in the Needs Areas should be included in the calculation of future wastewater flows. This data was also used to determine the potential build out of properties based on current zoning and an allowance for the construction of future secondary dwellings on a property. The Somerset Needs Area is comprised of 283 existing lots with the potential of an additional 105 future lots based on current zoning, for a total of 388 lots. Approximately 38% of the existing lots in the Somerset Needs Area have secondary dwellings. The wastewater flow projections are based on 50% of the existing lots with secondary dwellings. The future average daily flow for the Somerset Needs Area is approximately 124,000 gpd.

- The Somerset Sewer Extension includes approximately 6,100 feet of 12-inch gravity sewer that is sized to handle flow from the Somerset Needs Area, as well as flow from the Hummock North and Hummock South Needs Areas.
 - The Hummock North Needs Area is comprised of 183 existing lots with the potential of an additional 79 future lots based on current zoning, for a total of 262 lots. Approximately 43% of the existing lots in the Hummock North Needs Area have secondary dwellings. The wastewater flow projections are based on 60% of the existing lots with secondary dwellings. The future average daily flow for the Hummock North Needs Area is approximately 92,000 gpd.
 - The Hummock South Needs Area is comprised of 176 existing lots with the potential of an additional 50 future lots based on current zoning, for a total of 226 lots. Approximately 35% of the existing lots in the Hummock South Needs Area have secondary dwellings. The wastewater flow projections are based on 50% of the existing lots with secondary dwellings. The future average daily flow for the Hummock South Needs Area is approximately 80,000 gpd.
- Preliminary sizing for the low-pressure sewer pipes was based on criteria established in the Water Environment Federation (WEF) Manual of Practice FD-12 (second edition) – Alternative Sewer Systems and is summarized as follows:

Number of Dwellings/Pump Units	Assumed Pipe Size
0 -10	2-inch
11 – 30	3-inch
31 – 150	4-inch

- In addition to the pipelines, a low-pressure sewer system includes other components such as cleanout structures as well as isolation and air release valves. For this analysis we have included terminal flushing manholes at all end-runs and in-line flushing manholes at all pipe intersections and along straight runs of pipe that exceed 1,000 feet. Isolation valves will be included in areas threatened by coastal erosion, including influences from sea level rise, such that low-lying sections of the system can be isolated and abandoned while other sections remain in service. Air release valves will be included, as required, in system high points.
- The proposed gravity sewer system will include precast concrete manholes as an additional component. For this analysis we have included manholes at all pipe intersections and along straight runs of pipe that exceed 300 feet.
- Based on the conceptual sewer layout depicted in Figure 2, the following is a summary of the anticipated low-pressure and gravity sewer system components:
 - Approximately 8,200 lf of 2-inch low-pressure sewers
 - Approximately 1,700 lf of 3-inch low-pressure sewers
 - Approximately 11,200 lf of 8-inch gravity sewers
 - Approximately 4,300 lf of 12-inch gravity sewers
 - Approximately 20 flushing manhole structures (in-line and terminal)
 - Approximately 78 precast concrete manholes

- o Approximately 3 air release and/or isolation valve manhole structures
- o Up to 200 on-lot grinder pump units

2.2 Conveyance to the Existing System (Pump Station and Force Main)

It is anticipated that the collection system within the Project Area will discharge to a proposed pump station on Bartlett Road (as depicted in Figure 2) with a new force main configured to discharge into the existing terminal gravity manhole in Bartlett Road that was installed as part of the Surfside Road Area Sewer System Improvements Project. All wastewater from the Somerset, Hummock North, and Hummock South Needs Areas would flow to the proposed pump station, which in turn would convey the flow through the new Surfside Road Sewer Pump Station to the Surfside WWTF. A summary of the steps taken, and data compiled, including critical criteria and/or assumptions used in developing the conceptual pump station and force main system is as follows:

- At this conceptual phase, it is anticipated that the proposed pump station would be sized to handle approximately 1,000 gallons per minute (gpm).
- For the conceptual design and budgeting of project costs, we have assumed the pump station will be modeled after the new Surfside Road Pump Station.
 - o The controls will be in an above grade building adjacent to the wet well with a standby generator in an outdoor enclosure.
 - o The station will consist of either suction-lift style (i.e. Gorman Rupp type) pumps in the above grade building, or flooded suction pumps with a deeper dry well located below the building.
- The estimated force main length is approx. 4,800-feet along Bartlett Road from the proposed pump station to the discharge location in Bartlett Road.
 - o PVC or HDPE pipe materials are recommended.
 - o Automatic air/vacuum release valves should be installed at all high points in the force main, with cleanouts installed at all low points and along straight runs of force main that exceed 1,000 feet.
- Per TR-16 recommendations, a minimum force main velocity of 3 feet-per-second (fps) should be maintained in order to re-suspend and push solids through the force main. Based on the estimated flows, a 10-inch force main would be appropriate.

2.3 Water Main Extensions

The Town has expressed the desire to extend the existing water main system in roadways that are being excavated as part of the Somerset Sewer Extension. We met with Wannacomet Water to review the existing water main system in the area so that the locations and quantities of the water main extensions could be determined. The conceptual water main extensions, which are depicted in dark blue in Figure 2, include approximately 6,400 feet of 8-inch water mains and 450 feet of 12-inch water mains. The water main extensions will also include water services to the properties along the new water main route, as well as new valves and hydrants.

3.0 BUDGETED COSTS

Upon refinement of the conceptual design, an updated budgeted project cost was developed. In preparing this budgeted cost, it is important to note that the linear nature of a collection system leads to significant cost implications based on the following factors:

- Size and Depth of Pipe
 - Number of manholes/structures
 - Size and design of pump station(s)
 - Number of individual on-lot grinder pumps
- Subsurface Conditions
- Method of Installation
- Surface Restoration
- Public Safety
- Land Acquisitions and Easements (pump station site and sewer installation in private roads)

In addition to pipe and appurtenances, which have been quantified above, one of the most important cost drivers impacting the construction of any wastewater collection system is the existing subsurface conditions. Because this project is in the conceptual design stage, geotechnical investigations have not been performed, but such investigations would be recommended during final design. To evaluate the existing subsurface conditions at this time, we relied on local knowledge and recent experience in town.

The method of construction is also a contributing factor to the overall cost of a project. Considering that the proposed system consists of gravity sewers, low-pressure sewers and force main sewers, the cost estimate assumes open cut methods with both deep and shallow trench widths and depths, unless otherwise noted.

For the purpose of this updated budgeted cost, we have assumed that all sewers will be installed with open cut methods beneath the travelled way of the existing impacted roads. During final design, options of utilizing the shoulder of the road or installing pipes within existing bike paths or sidewalks should be explored, thereby potentially reducing surface restoration costs.

Another major factor that impacts costs is final surface restoration of the streets (i.e., pavement replacement within the town roads, including private ways) within the project area, which can account for up to 40% of the project's total construction cost. As part of our analysis, we performed a windshield survey and utilized existing GIS mapping to identify the existing paved and gravel/dirt roads in the project area. The result of this review is summarized in Table 1. Based on previous discussions with the Nantucket Department of Public Works (DPW) and upon pavement replacement methods employed on recent sewer extension projects, we determined the town's anticipated surface restoration requirements, which are further defined as follows:

- Any sewer in a gravel/dirt road would be restored to its previously existing condition (i.e., pavement not required).
- Any sewer within a paved road (public or private) would require:
 - 2-inch trench width temporary pavement, followed by a 90-day minimum trench settlement period
 - Full width (curb to curb) pavement pulverization prior to final pavement

- o 2 ½-inch full-width permanent binder course pavement
 - o 1 ½-inch full-width permanent top course pavement.
- Any sidewalk/bike path impacted by the sewer construction will be restored in kind.

The total updated budgeted cost was calculated based on the following format:

- Construction Costs
- Design, Permitting, Land, Legal, Funding, Easements and Construction Services Costs
- Contingency Costs
- Police Detail Costs

Table 2 presents the updated budgeted cost for the conceptual sewer layout. In addition to the information presented above, a detailed breakdown of the steps taken, and data compiled during the conceptual budgeted cost process, including critical criteria and/or assumptions used in developing the budget, is as follows:

Construction Costs

- In projecting the unit prices for the items presented in Table 2, we relied primarily on recent similar construction projects in Nantucket (i.e., Nantucket Harbor Shimmo and Plus Parcels Sewer Extension, Bathing Beach Road and Miscellaneous Areas Sewer Improvements, Surfside Road Sewer System Improvements, and S. Shore Road Sewer Extension). In addition, we considered recent bid information for similar projects in communities on Cape Cod.
- Lengths of building service connections within the existing travelled ways (from the mainline to the edge of travelled way) were estimated based on the number of properties being served multiplied by half the width of the road in which the stub is to be installed, plus 5 feet.
- As previously stated, we have assumed the pump station will be modeled after the new Surfside Road Pump Station, and have therefore used actual as-bid costs for that station as a basis. We have taken into consideration recent material and equipment cost escalations, to project the pump station lump sum cost for this budget update.

Although work on private (on-lot) infrastructure is not part of the municipal contract, it was assumed that the Town of Nantucket would maintain the policy established as part of the Nantucket Harbor Shimmo and Plus Parcels Sewer Extension Project with regard to the purchase of on-lot grinder pumps. Under this policy, the Town performed a separate procurement for the purchase of grinder pump units and made them available to homeowners at a discounted rate.

Police Details

Another significant expense in any construction project is related to public safety (i.e., police details). Based on previous discussions and experience with the Nantucket Police Department, we have assumed 2 police officers per day during pipeline installation within all travelled ways.

- Based on the current hourly rates for the Nantucket police, the cost for one police officer is approximately \$600 per day (assumes 9-hour days).
- We estimated the approximate number of construction crew days at approximately 580 based on assumed production rates for all components of construction. See Table 3 for a breakdown of estimated construction timeframes.
- The number of crew days was multiplied by two officers per day and multiplied by \$600 per officer, bringing total estimated police detail costs to approximately \$700,000.

Other Cost Considerations

- Once the total opinion of probable construction cost was determined, it was necessary to estimate the costs for the design, permitting, land, legal, funding, easements and engineering construction services. Land acquisition or an easement will be required for the pump station site and easements will be required for installation of utilities within private roads. See Table 1 for a breakdown of public vs. private roads. Based on our experience, the cost for these services at the conceptual level is approximated at 30 to 35% of the total construction costs.
- Based on the conceptual nature of the design/layout at this point, we also carried an additional 20% construction contingency to account for cost escalation and additional costs that may arise during construction due to differing subsurface conditions, expanded scope, and other factors that could arise during the final design, permitting, and construction of the project.

Budgeted Cost Summary

The total updated budgeted cost of the proposed Somerset Sewer Extension Project is approximately **\$41 Million** as broken down in Table 2 and as summarized below:

• Construction Cost -	\$26 M
• Construction Contingency (20%) -	\$5.2 M
• Engineering/Land/Legal Costs -	\$8.5 M
• Public Safety (Police Details) -	\$0.7 M
• Grinder Pumps (Purchase Only) -	<u>\$0.7 M</u>
• TOTAL -	\$41 M

The budgeted construction cost of \$26 M is further broken down as follows:

• Collection System (Low-Pressure and Gravity Sewers) -	\$9.3 M (~36%)
• Conveyance System (PS and Force Main) -	\$4.8 M (~19%)
• Water Main Extension -	\$2.4 M (~9%)
• Surface Restoration (Primarily Paving) -	<u>\$9.5 M (~36%)</u>
• TOTAL -	\$26 M

Based on this further breakdown, the paving needs/assumptions are a big driver in this budgeted cost and, therefore, any efforts to minimize the disturbance, and subsequent restoration, of the paved surface of roads will have significant impacts on the overall cost of the project. The collection system

installation cost is also significant due to the size, extent, and depth of the gravity sewer system as it is currently proposed to provide gravity sewer service to as many properties in the Needs Area as possible and to afford capacity in this area for flows from the Hummock North and Hummock South Needs Areas.

In summary, our intent is that the overall assumptions used herein are conservative but reflective of the costs that the Town should be prepared to incur if they vote to move forward with this important infrastructure improvement project. Depending upon the timing of such a vote, the Engineering News Record (ENR) Construction Cost Index (CCI) should be utilized to relate the CCI at the time of preparation of this report (August 2023 – 17711.92) to the then appropriate index.

4.0 FUNDING AND FINANCING SCHEDULE

The Somerset Needs Area Sewer Extension is expected to be eligible for Clean Water State Revolving Fund (CWSRF) financing. The water main extension would not be eligible for funding under the CWSRF. The Somerset area, as well as the tributary areas of Hummock North and Hummock South are located within nitrogen sensitive embayments and have been approved (under the CWMP) by MassDEP as Needs Areas for the extension of sewers to satisfactorily address nitrogen mitigation. As such, the Town may be eligible for a 0% interest loan for construction, construction engineering, and associated costs. For the project to qualify, the Town must apply for SRF funding by submitting a Project Evaluation Form (PEF) for approval and inclusion on the following fiscal year's Intended Use Plan (IUP). Documentation of local appropriation is then required as part of the SRF application prior to bidding and award of the construction contract. The proposed project finance schedule is outlined below.

- May 2024 – Appropriation for engineering design and land/legal costs at the 2024 Annual Town Meeting (ATM)
- August 2024 – Submit the PEF to MassDEP for inclusion on the 2025 SRF IUP
- August 2024 – Inclusion of the project cost in the Town's Capital Budget
- January 2025 to March 2025 – SRF IUP for 2025 issued by MassDEP
- May 2025 – Appropriation for construction related costs at the 2025 ATM
- October 2025 – Submit the final SRF application to MassDEP
- October 2025 – Submit the plans and specifications to MassDEP
- February/March 2026 – Bid the project
- May/June 2026 – Award the construction contract
- Fall 2026 – Start construction
- Fall 2028 – Complete construction

FIGURES

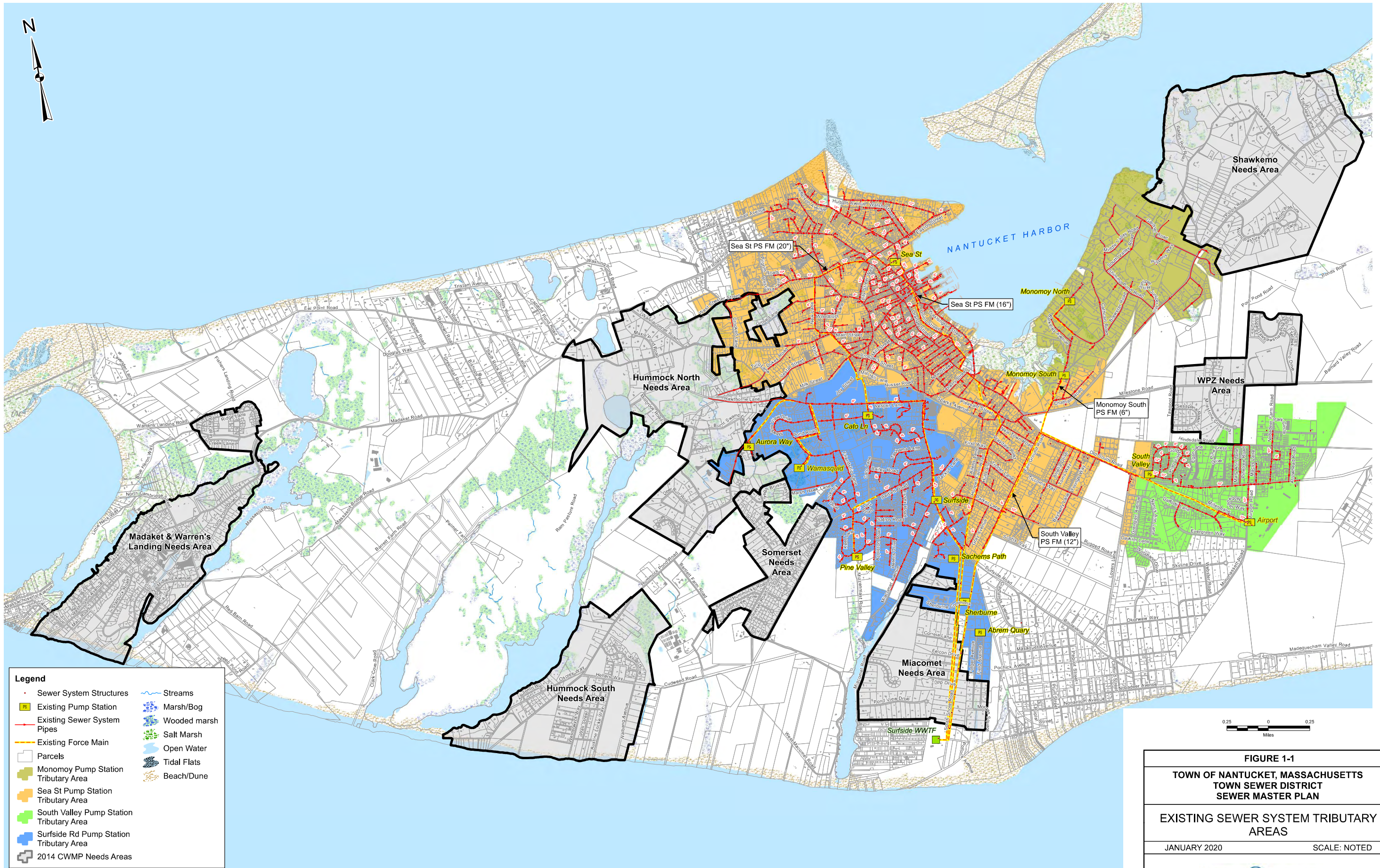


FIGURE 1-1
TOWN OF NANTUCKET, MASSACHUSETTS
TOWN SEWER DISTRICT
SEWER MASTER PLAN
EXISTING SEWER SYSTEM TRIBUTARY
AREAS
JANUARY 2020 SCALE: NOTED
Weston & Sampson

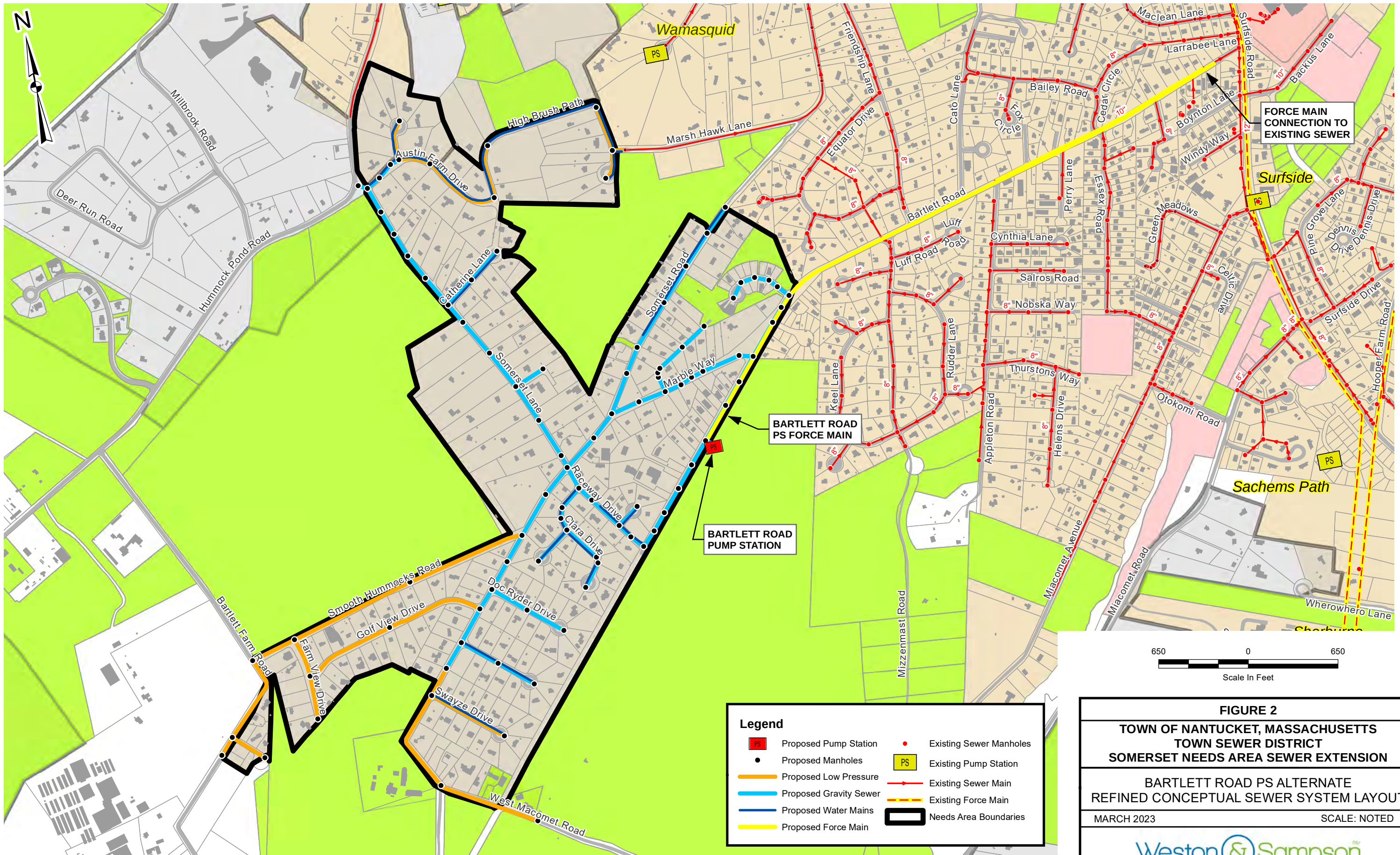


FIGURE 2

TOWN OF NANTUCKET, MASSACHUSETTS
TOWN SEWER DISTRICT
SOMERSET NEEDS AREA SEWER EXTENSION

BARTLETT ROAD PS ALTERNATE
REFINED CONCEPTUAL SEWER SYSTEM LAYOUT

MARCH 2023 SCALE: NOTED

Weston & Sampson

TABLES

TABLE 1
NANTUCKET, MA - SOMERSET NEEDS AREA BUDGETED PROJECT COST
PROJECT AREA STREETS

STREET	ROAD DESIGNATION	ROADWAY SURFACE	ROADWAY LENGTH PAVED (FEET)	ROADWAY LENGTH UNPAVED (FEET)
Austin Farm Drive	Private	Paved	1,125	
Bartlett Farm Road	Public	Paved	835	
Bartlett Road	Public	Paved	2,120	
Bartlett Road Force Main Route	Public	Paved	4,800	
Catherine Lane	Private	Paved	540	
Clara Drive	Private	Paved	900	
Doc Ryder Drive	Private	Paved	610	
Farm View Drive	Private	Paved	610	
Finback Lane	Private	Concrete Block Pavers	540	
Golf View Drive	Public	Paved/Unpaved	510	890
Hatch Circle	Private	Paved	200	
Hendersons Drive	Private	Paved	610	
High Brush Path	Private	Paved	950	20
Marble Way	Private	Unpaved		1,120
Mikes Drive	Private	Unpaved		230
Mioxes Way	Private	Unpaved		270
New Hummock Circle	Private	Paved	300	
Raceway Drive	Public	Paved	820	
Sleepy Hollow Road	Private	Unpaved		630
Smooth Hummocks Way	Private	Unpaved		2,165
Somerset Lane	Public	Paved	2,580	
Somerset Road West	Public	Paved	2,712	
Somerset Road East	Public	Paved/Unpaved	300	1,900
Swayze Drive	Private	Paved	610	
Todd Circle	Private	Paved	310	
West Miacomet Road	Public	Paved	800	
		Total	22,782	7,225

TABLE 2
NANTUCKET, MA - SOMERSET NEEDS AREA BUDGETED PROJECT COSTS
ENGINEERS OPINION OF PROBABLE COSTS

ITEM	QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL AMOUNT
1		SEWERS COMPLETE IN PLACE		
1a	6,500	8-inch PVC Sewers, 0-12 ft. deep, per linear foot	\$175	\$1,137,500
1b	4,700	8-inch PVC Sewers, >12 ft. deep, per linear foot	\$250	\$1,175,000
1c	1,800	12-inch PVC Sewers, 0-12 ft. deep, per linear foot	\$250	\$450,000
1d	2,600	12-inch PVC Sewers, >12 ft. deep, per linear foot	\$325	\$845,000
2		BUILDING CONNECTION SYSTEMS		
2a	320	8 x 6-inch wye branches for PVC pipe, ea.	\$700	\$224,000
2b	100	12 x 6-inch wye branches for PVC pipe, ea.	\$800	\$80,000
2c	200	Tee branches for pressure sewers, ea.	\$250	\$50,000
2d	3,000	1 -1/2-inch pressure building connections, per linear foot	\$75	\$225,000
2e	6,000	6" PVC building connections, per LF	\$150	\$900,000
2f	1,650	6-inch sewer chimneys, per V.F.	\$500	\$825,000
3		SEWAGE FORCE MAINS, PRESSURE SEWERS, AND FITTINGS		
3a	4,800	10-inch PVC Force Main, per L.F.	\$150	\$720,000
3b	1,700	3-inch HDPE pressure sewers, per L.F.	\$80	\$136,000
3c	8,200	2-inch HDPE pressure sewers, per L.F.	\$70	\$574,000
3d	4	Force Main Clean Out and Air Release, 6.0 ft. diameter, per manhole	\$7,500	\$30,000
3e	20	Terminal and in-line flushing connections, 4.0 ft. diameter per manhole	\$6,000	\$120,000
3f	1	Connection to existing structures, ea.	\$15,000	\$15,000
4		ROCK EXCAVATION AND DISPOSAL		
4a	500	Rock excavation and disposal, per C.Y.	\$150	\$75,000
5		MISCELLANEOUS EARTHWORK		
5a	1,000	Changes in earthwork, per C.Y.	\$20	\$20,000
5b	5,000	Earth excavation and backfill of unsuitable material above normal grade, per C.Y.	\$20	\$100,000
5c	1,000	Earth excavation and backfill below normal grade, per C.Y.	\$20	\$20,000
5d	200	Test pits, per C.Y.	\$150	\$30,000
6		SEWER MANHOLES AND APPURTENANCES		
6a	80	Precast concrete manhole bases, with standard frame and cover, 4.0 ft. diameter per manhole	\$10,000	\$800,000
6b	800	Precast concrete walls and cones, 6.0 ft. dia., per V.F.	\$500	\$400,000
7		DEWATERING		
7a	1	Normal dewatering, lump sum	\$50,000	\$50,000
8		SURFACE RESTORATION AND PAVEMENT REPLACEMENT		
8a	200	Cross-country restoration, per linear foot	\$10	\$2,000
8b	7,300	Unpaved road restoration, per linear foot	\$25	\$182,500
8c	23,000	Temporary pavement, 2" thick, trench width, per linear foot	\$75	\$1,725,000
8d	52,000	Pavement pulverization, full width, per S.Y.	\$25	\$1,300,000
8e	7,400	Permanent pavement, 2-1/2" binder course, full width, per ton	\$400	\$2,960,000
8f	4,400	Permanent pavement, 1-1/2" top course, full width, per ton	\$425	\$1,870,000
8g	1,000	Additional pavement, per ton	\$500	\$500,000
8h	1,400	Block Road Restoration, per square yard	\$500	\$700,000
8i	100	Raising and adjusting castings, per casting	\$300	\$30,000
8j	45,000	Fast drying paint, per linear foot	\$3	\$135,000
9		ENVIRONMENTAL PROTECTION		
9a	1,000	Straw wattles, per linear foot	\$20	\$20,000
9b	3,000	Calcium chloride, per LB	\$3	\$9,000
10		PUMPING STATIONS AND APPURTENANT WORK		
10a	1	Somerset pumping station, complete in place, lump sum	\$4,000,000	\$4,000,000
11		WATER MAINS AND FITINGS		
11a	6,400	8-inch PVC Water Mains, per linear foot	\$200	\$1,280,000
11b	450	12-inch PVC Water Mains, per linear foot	\$275	\$123,750

TABLE 2
NANTUCKET, MA - SOMERSET NEEDS AREA BUDGETED PROJECT COSTS
ENGINEERS OPINION OF PROBABLE COSTS

ITEM	QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL AMOUNT
11c	1,700	1-inch Water Services, per linear foot	\$50	\$85,000
11d	20	6-inch Gate Valves, per valve	\$3,000	\$60,000
11e	15	8-inch Gate Valves, per valve	\$5,000	\$75,000
11f	12	12-inch Gate Valves, per valve	\$7,500	\$90,000
11g	20	Hydrants, per each	\$5,000	\$100,000
11h	6,850	Temporary pavement, 2" thick, trench width, per linear foot	\$75	\$513,750
SUBTOTAL				\$24,800,000
12		MOBILIZATION		
12a	1	Mobilization, lump sum (not more than 5% of total bid items 1-11)		\$1,200,000
TOTAL CONSTRUCTION COST				\$26,000,000
DESIGN, PERMITTING, LAND, LEGAL & CONSTRUCTION SERVICES				\$8,500,000
CONSTRUCTION CONTINGENCIES (20%)				\$5,200,000
POLICE DETAILS				\$700,000
GRINDER PUMPS (PURCHASE ONLY @ \$3,500 PER UNIT x 200 UNITS)				\$700,000
GRAND TOTAL				\$41,000,000

TABLE 3
NANTUCKET, MA - SOMERSET NEEDS AREA BUDGETED PROJECT COST
CONSTRUCTION PRODUCTION RATES AND ESTIMATED CONSTRUCTION DURATION

Item	Production (per Day)	Quantity	Estimated Crew-Days
<u>A. Pipeline: (linear feet)</u>			
0-12 Feet Deep (Gravity Sewer)	100	8,300	83.0
>12 Feet Deep (Gravity Sewer)	50	7,200	144.0
Pressure Sewers 2" - 3"	200	9,800	49.0
Force Main	150	4,800	32.0
<u>B. Building Connections:</u>			
Building Connections (Gravity Sewer, LF)	75	6,000	80.0
Building Connections (Pressure Sewer, LF)	100	3,000	30.0
<u>C. Paving:</u>			
2" Temporary Pavement (LF)	500	23,000	46.0
Binder Course (Full-width, Tons)	400	7,300	18.3
Top Course (Full-width, Tons)	400	4,400	11.0
Final Grading (Gravel roads, LF)	3,000	7,300	2.4
Brick/Cobblestone Replacement (Full-width, SY)	100	1,400	14.0
<u>D. Testing: (linear feet)</u>			
Testing	1,500	30,000	20.0
<u>E. Water Mains: (linear feet)</u>			
8" PVC Water Mains (LF)	300	6,400	21.3
12" PVC Water Mains (LF)	300	450	1.5
1-inch Water Services (LF)	100	1,700	17.0
Hydrants (EA)	2	20	10.0
Total Sewer & Surface Restoration:			580

**Fiscal Year 2024
Tax Rate Hearing, Residential Exemption,
and Tax Rate Shift**

- Preliminary Discussion

*Presented by: Rob Ranney, MAA
Assessor, Town of Nantucket
Wednesday, September 20, 2023*

Purpose of the Tax Rate Hearing

1. To determine the tax allocation by classification
2. Adoption of a residential exemption
3. Adoption of a shift

(Please note: FY24 values have not been set yet, the numbers contained herein, unless otherwise specified, are for demonstration and discussion purposes only)

1. The tax levy (amount to be raised by real estate and personal property taxes) for fiscal year 2023 was \$100,597,483. The levy amount is distributed by property class based on the proportionate, full and fair cash value (FFCV) share for each class.

Assessors must classify all real property according to use as of each January 1 into one of four classes: Residential, Open Space, Commercial or Industrial.

Municipalities decide annually within limits established by statute and the Department of Revenue (DOR) the percentage of the tax levy that will be paid by each class of real property owners and personal property owners. The decision is made at a public hearing.

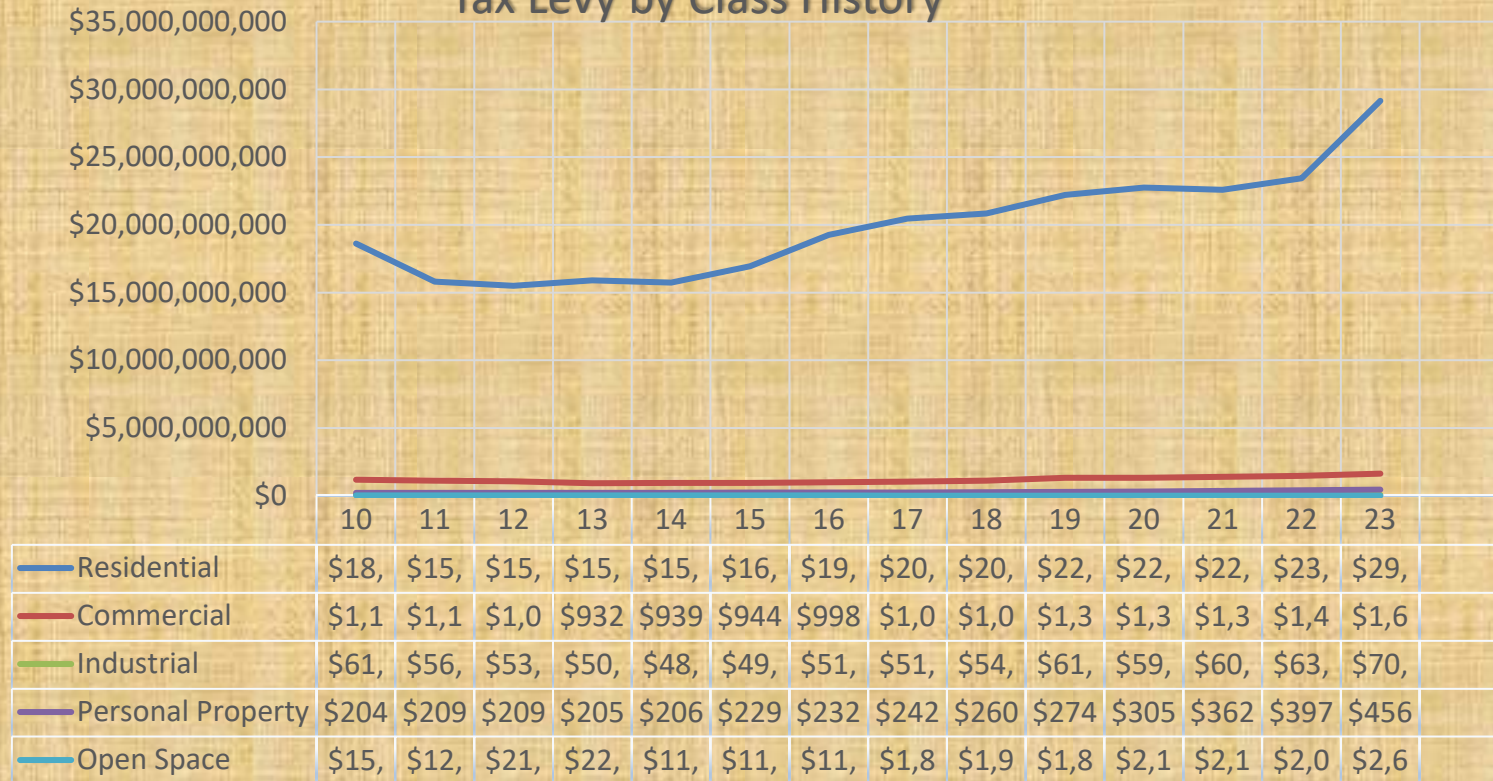
FY2023 values by class with percentages 'pre-shift' and then after the adoption of a 25% residential exemption and a 1.70 shift to the commercial, industrial, and personal property (CIP) classes.

LA4 VALUES		FFCV PERCENTS		SHIFT OPTIONS	
Residential	29,157,634,427	Residential	93.1370	Min Res Factor at 150%	96.3205
Open Space	2,638,600	Open Space	0.0084	Min Res Factor at 175%	94.4807
Commercial	1,618,562,754	Commercial	5.1701	Chapter 3	0.0000
Industrial	70,785,205	Industrial	0.2261	Lowest Historical Res%	64.7940
Pers Prop	456,562,917	Pers Prop	1.4584	Prior FY LA5 Res Shift%	87.0832
Total	31,306,183,903	Total %	100.0000	Lowest Res Factor	94.4807
		INPUT OPTIONS		OPEN SPACE DISCOUNT	
Levy (Recap Page 1-Ic)	100,597,482	Resid Factor Selected	0.948487	Open Space Discount %	0.0000
		Com/Ind/PP Shift	1.70000	Open Space Factor	1.00000
		Single Tax Rate	3.21		
SHIFT PERCENTS		TAX RATES			
Residential %	88.3392	Residential	3.21		
Open Space %	0.0080	Open Space	3.05		
Commercial %	8.7891	Commercial	5.46		
Industrial %	0.3844	Industrial	5.46		
Pers Prop %	2.4793	Pers Prop	5.46		
Total %	100.0000				

RESIDENTIAL EXEMPTION OPTIONS & CALCULATIONS (UPLOAD EXEMPTION CALCULATION WORKSHEET)

Total Residential Value	29,157,634,427	/ Total Res Parcel Count	10,896	= Average Residential Value	2,675,994
Avg Residential Value	2,675,994	X Res Exemption%(max35)	25.0000	= Residential Exemption	668,999
No. Eligible Res Parcels	2,199.429153	Total Res Value Exempted	1,471,415,904		
Total Residential Value	29,157,634,427	- Total Res Value Exempted	1,471,415,904	= Tot Res Value After Exemption	27,686,218,523
Total Residential Value	29,157,634,427	/ # Eligible Res Parcels	2,199.429153	= Approx. Break-Even Value	13,256,910

Town of Nantucket Tax Levy by Class History



— Residential
 — Commercial
 — Industrial
 — Personal Property
 — Open Space

2. RESIDENTIAL EXEMPTION

Enacted by the Commonwealth in 1979 and adopted locally in 1981, the residential exemption is an option under property tax classification MGL c.59, sec. 5C that shifts the tax burden *within* the residential class from owners of moderately valued residential properties to the owners of vacation homes, higher valued homes, and other residential properties not occupied primarily by the owner, including apartments and vacant land.

The amount of the tax levy paid by the residential class remains the same, but because of the exempted residential valuation, the levy is distributed over less assessed value. This creates a shift within the residential class that reduces the taxes paid by homeowners of moderately valued properties, with the difference being made up primarily by the non-owner-occupied residential properties.

Residential Exemption

- MGL C. 59 section 5c allows a community to provide an exemption to taxpayers who own and occupy their dwelling as their primary residence.
- This exemption may not exceed 35%* of the average value in the residential property class.
- The average residential value for Nantucket in fiscal year 2023 was **\$2,675,994**.
- A 25% exemption in FY23 reduced each qualifying parcel by \$668,999.

*The Municipal Modernization Act that went into effect on November 7, 2016 amended MGL Ch 59 s.5C from 20 to 35%.

- The loss in value attributable to the exemption is made up by the entire residential class (there is no such thing as a ‘free lunch’.)
- For the fiscal year 2023 there were about 2,200 exemptions, representing \$1,471,415,904 in value.
- Only the residential class is affected by changes to the residential exemption.
- Nantucket is one of approximately twenty communities in the state, including Boston, which has the residential exemption.

Who Benefits?

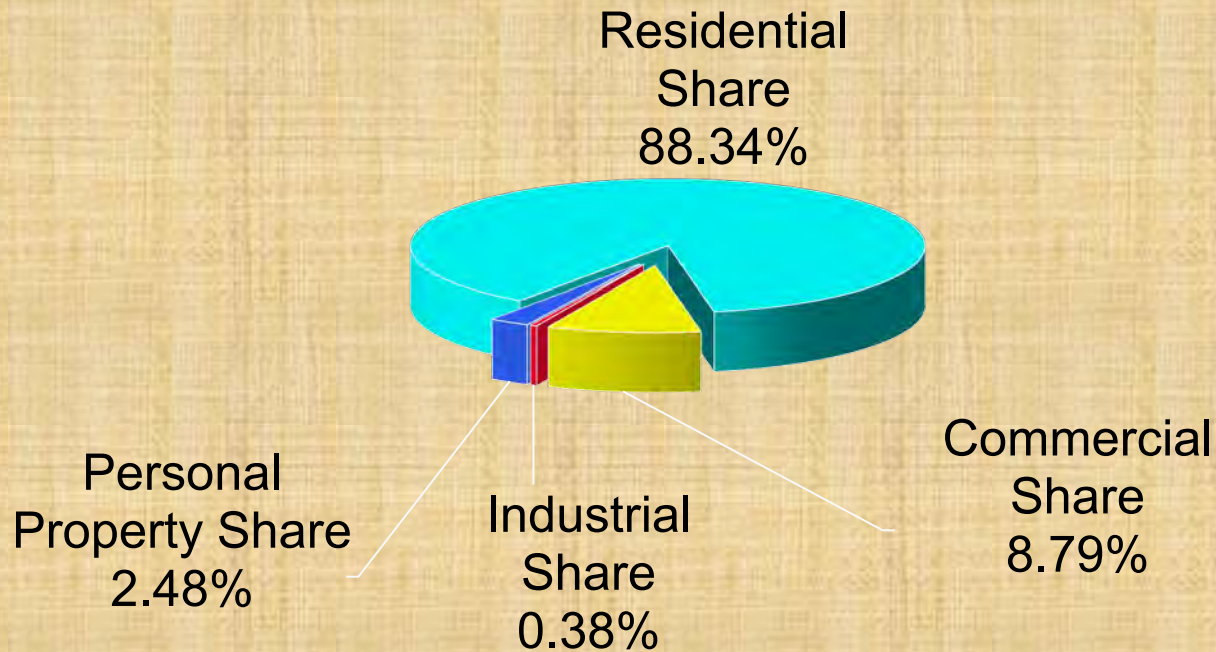
Lower-valued Owner-Occupied Properties:

With No Residential Exemption				
	Property #1	Property #2	Property #3	Property #4
Assessed Value	\$1,000,000	\$2,000,000	\$4,000,000	\$10,000,000
Tax Bill (2022 @ \$3.74)	\$3,740.00	\$7,480.00	\$14,960.00	\$37,400.00
Eligible Properties- With Residential Exemption				
	Property #1	Property #2	Property #3	Property #4
Assessed Value	\$1,000,000	\$2,000,000	\$4,000,000	\$10,000,000
Exemption (2022)	\$541,019	\$541,019	\$541,019	\$541,019
Net Value	\$458,981	\$1,458,981	\$3,458,981	\$9,458,981
Tax Bill w/25% Exemption	\$1,716.59	\$5,456.59	\$12,936.59	\$35,376.59
Actual \$ Savings with Exemption	\$2,023.41	\$2,023.41	\$2,023.41	\$2,023.41
ResEx Tax Bill As A Percentage of Non-ResEx Tax Bill	46%	73%	86%	95%

3. Adoption of a shift redistributes the % of the levy to be raised by each class of property, shifting the burden from the Residential Class to the Commercial (CIP) Classes.
(FY2023)

Class	Value	Levy Percentage	Shift	New Levy Percentage
Residential	29,157,634,427	93.137%		88.3392%
Open Space	2,638,600	0.0084%		0.0080%
Subtotal	29,160,273,027	93.1454%		88.3472%
Commercial	1,618,562,754	5.1701%	1.70	8.7891%
Industrial	70,785,205	0.2261%	1.70	0.3844%
Personal	456,562,917	1.4584%	1.70	2.4793%
CIP Total	2,145,910,876	6.8546%		11.6528%
Total	31,306,183,903	100.00%		100.00%

FY 2023 Class Share of Tax Levy with 1.70 Shift



Shift and Residential Exemption Options based on FY2023 actuals

2023 Tax Rates				Avg Res	Avg W/ ResEx	Avg Com	ResChange	ResExChange	ComChange
CIP Shift		Res	Com						
20%ResEx									
\$535,199	1.55	3.21	4.98	\$8,598	\$6,878	\$12,484			
\$535,199	1.60	3.20	5.14	\$8,565	\$6,852	\$12,887	-\$33	-\$26	\$403
\$535,199	1.65	3.19	5.30	\$8,532	\$6,826	\$13,289	-\$33	-\$26	\$402
\$535,199	1.70	3.18	5.46	\$8,499	\$6,799	\$13,692	-\$33	-\$27	\$403
25%ResEx									
\$668,999	1.55	3.25	4.98	\$8,689	\$6,517	\$12,484			
\$668,999	1.60	3.23	5.14	\$8,656	\$6,492	\$12,887	-\$33	-\$25	\$403
\$668,999	1.65	3.22	5.30	\$8,623	\$6,466	\$13,289	-\$33	-\$26	\$402
\$668,999	1.70	3.21	5.46	\$8,589	\$6,442	\$13,692	-\$34	-\$24	\$403
30%ResEx									
\$802,798	1.55	3.28	4.98	\$8,783	\$6,148	\$12,484			
\$802,798	1.60	3.27	5.14	\$8,749	\$6,124	\$12,887	-\$34	-\$24	\$403
\$802,798	1.65	3.26	5.30	\$8,715	\$6,100	\$13,289	-\$34	-\$24	\$402
\$802,798	1.70	3.24	5.46	\$8,682	\$6,077	\$13,692	-\$33	-\$23	\$403
35%ResEx									
\$936,598	1.55	3.32	4.98	\$8,878	\$5,771	\$12,484			
\$936,598	1.60	3.30	5.14	\$8,844	\$5,749	\$12,887	-\$34	-\$22	\$403
\$936,598	1.65	3.29	5.30	\$8,810	\$5,726	\$13,289	-\$34	-\$23	\$402
\$936,598	1.70	3.28	5.46	\$8,776	\$5,704	\$13,692	-\$34	-\$22	\$403



Questions?